

Table 17. Site 11: Dating Analysis, Historic Artifacts

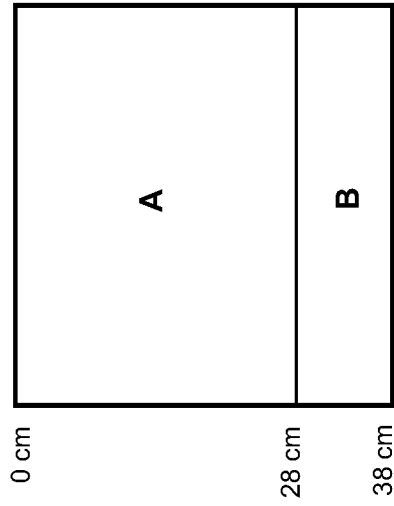
Material	Description	Count	Begin Date	End Date	Reference
nail, cut		1	1790	1890	Nelson 1968
whiteware	hand painted	1	1840	1860	Lofstrum et al 1982; Majewski & O'Brien 1984
whiteware	plain	2	1830	2008	Price 1979; Noël Hume 1980
yellowware	plain	1	1880	1900	Ketchum 1987
	Total	5			
	Mean date	1884			

Site 11 Recommendations

Site 11 represents a small, low-density, mid 19th century artifact scatter. The integrity of this site is good. Because of its small size, low density, and lack of associated features or structures GAI concludes that the potential for Site 11 to contribute important information on the historic utilization of this area is low. GAI recommends that Site 11 is Not Eligible to the National Register under Criterion D. No further archaeological investigations are recommended for this site.

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**SITE 11
STP J3**



KEY:

- A – BROWN (10YR 4/3) SILT LOAM
- B – YELLOWISH BROWN (10YR 5/4) SANDY LOAM

SCALE



DWN	LMD	CHKD	TJN
APPD	BAM	DATE	09/04/08
SCALE	AS NOTED		
DRAWING NUMBER	C080204.10.002.C.A.Si 11		

FIGURE 29. SITE 11: REPRESENTATIVE SOIL PROFILE (STP J3)

**BELL BEND NUCLEAR POWER PLANT
UNISTAR NUCLEAR DEVELOPMENT, LLC.**

Isolated Finds

GAI identified 25 prehistoric Isolated Finds during Phase Ib survey. In accordance with PHMC/BHP guidelines (PHMC/BHP 1991), these resources represent localities that produced fewer than three artifacts within a 15-meter (50-foot) radius. (Note that IFs 13 and 26 have been deleted; IF 13 was determined to be noncultural and IF 26 was incorporated into Site 1). Each of these isolated finds consists of a single lithic artifact. All but two of the isolated finds were found on the surface of cultivated fields during pedestrian survey; IFs 22 and 23 were recovered from shovel tests. Twenty of the isolated finds (80 percent) were found on upland flats within the West Alternative; five were located on the low terrace/floodplain in Area 7, adjacent to the Susquehanna River. Table 18 presents a summary of these isolated finds.

Table 18. Summary of Identified Isolated Finds

IF	Area	Section	Setting	Age	Description	Recommended NRHP Eligibility
IF 1	West Alt.	1	Upland	Unknown Prehistoric	Untyped projectile point	NE
IF 2	West Alt.	6	Upland	Early Archaic	Kirk corner-notched projectile point	NE
IF 3	West Alt.	6	Upland	Early Archaic	MacCorkle-like projectile point	NE
IF 4	West Alt.	6	Upland	Middle to Late Archaic	Piney Island projectile point	
IF 5	West Alt.	6	Upland	Early Archaic	Kanawha projectile point	NE
IF 6	West Alt.	3	Upland	Unknown Prehistoric	Debitage	NE
IF 7	West Alt.	3	Upland	Unknown Prehistoric	Utilized flake	NE
IF 8	West Alt.	3	Upland	Unknown Prehistoric	Debitage	NE
IF 9	West Alt.	3	Upland	Unknown Prehistoric	Retouched flake	NE
IF 10	West Alt.	6	Upland	Unknown Prehistoric	Untyped projectile point tip	
IF 11	West Alt.	7	Upland	Late Archaic	Brewerton eared-notched projectile point	
IF 12	West Alt.	7	Upland	Unknown Prehistoric	Untyped projectile point	NE
IF 13	DELETED					
IF 14	West Alt.	7	Upland	Unknown Prehistoric	Debitage	NE
IF 15	West Alt.	12	Upland	Early Archaic	Palmer projectile point	NE
IF 16	Area 6	3	Upland	Unknown Prehistoric	Late stage biface	NE
IF 17	Area 7	2	Low Terrace/ Floodplain	Unknown Prehistoric	Debitage	NE
IF 18	Area 7	2	Low Terrace/ Floodplain	Unknown Prehistoric	Late stage biface	NE
IF 19	Area 7	2	Low Terrace/ Floodplain	Unknown Prehistoric	Debitage	NE
IF 20	Area 7	2	Low Terrace/ Floodplain	Unknown Prehistoric	Mid stage biface	NE
IF 21	Area 7	2	Low Terrace/ Floodplain	Unknown Prehistoric	Debitage	NE
IF 22	West Alt.	17	Upland	Unknown Prehistoric	Debitage	NE
IF 23	West Alt.	29	Upland	Unknown Prehistoric	Debitage	NE
IF 24	West Alt.	1	Upland	Unknown Prehistoric	Debitage	NE
IF 25	West Alt.	1	Upland	Unknown Prehistoric	Debitage	NE
IF 26	DELETED					
IF 27	West Alt.	1	Upland	Unknown Prehistoric	Untyped projectile point tip	NE

* NE=Not Eligible

V. Summary and Recommendations

Project Summary

GAI conducted Phase Ib cultural resources investigations at the Bell Bend Nuclear Power Plant (BBNPP), Luzerne County, Pennsylvania, for UniStar Nuclear, under a contract to Areva NP, Inc. Phase Ib archaeological survey and supplemental architectural and historical survey of the project area were performed between May and August, 2008. Phase Ib archaeological survey was conducted of approximately 350 acres (142 hectares) of moderate to high archaeological potential within the 630-acre (255-hectare) project area. Phase Ib fieldwork included pedestrian ground survey of cultivated fields, the excavation of 3,789 shovel test pits, and a program of deep testing (11 mechanical trenches, soil corings, and 8 1x1-meter hand-excavated test unit column samples) in one low terrace adjacent to the Susquehanna River. The supplemental architectural field survey included examination of 22 of the 52 resources initially identified within the project viewshed to conclusively evaluate their NRHP eligibility and to define the boundaries of NRHP-eligible resources.

Architectural Resources

Summary and Recommendations

The architectural and historical survey portion of the investigation initially identified 52 resources greater than 50 years of age within the APE. The property types included residences and farmsteads, outbuildings, structures, a railroad, a canal, a highway, bridges, a church, cemeteries, and an extraction facility. All surveyed resources meeting the NRHP age criterion within the project APE were evaluated for NRHP eligibility according to NRHP criteria for significance and standards of integrity. GAI prepared a Phase Ia cultural resources report with preliminary recommendations of NRHP eligibility for architectural and historical resources. Additionally, further work was recommended for four resources, as described in Section III above.

Subsequent to review of the Phase Ia report, the PHMC-BHP provided comments in a letter dated June 5, 2008 which stated that no further work was recommended for 21 resources identified during the Phase Ia study. The PHMC-BHP further requested that for the remaining 22 resources (which included a potential historic district composed of ten of the individually-identified resources), PHRS forms should be prepared (see Appendix A). Supplemental work was conducted between August 25 and 28, 2008 to collect the necessary information for thorough evaluation of the 22 resources for which PHRS forms were being completed. Boundaries for the ten NRHP-eligible resources identified during the architectural field investigation were delineated according to National Register Bulletin 21 (NPS 1992b). The 10 resources recommended eligible for NRHP listing are summarized in Table 19 below.

Table 19. Architectural and Historical Resources in Project Viewshed Recommended Eligible for NRHP Listing

ID No.	Name	Address	Style and Type	Date	NRHP Eligibility Recommendation
GAI-03 (086572)	Union Reformed and Lutheran Church (Old River Church and Burying Ground)	3200 SR 239, Conyngham Twp	Greek Revival Church and Cemetery	1833 (Church), 1805 (Cemetery)	Eligible, Criteria A, B, and C
GAI-04	Woodcrest	3209 SR 239, Conyngham Twp	Federal, Vernacular	1805, 1822	Eligible, Criteria A and C

ID No.	Name	Address	Style and Type	Date	NRHP Eligibility Recommendation
			Farmstead		
GAI-06	Stone Arch Bridge	Beach Grove Road at Stone Church Road, Salem Twp	Vernacular Stone Arch Bridge	c1935	Eligible, Criterion C
GAI-09	North Market Street Bridge	North Market Street, Salem Twp	Vernacular Stone Arch Bridge	c1935	Eligible, Criterion C
GAI-10 (141673)	North Branch Pennsylvania Canal	Along Susquehanna River, US Rt. 11 Vicinity, Salem Twp	Vernacular Canal	1828	Eligible, Criteria A and C
GAI-11	Canadian Pacific/ Bloomsburg Division of the Delaware, Lackawanna & Western Railway	Along Susquehanna River, US Rt. 11 Vicinity, Salem Twp	Vernacular Railroad	1858	Eligible, Criterion A
GAI-12	Susquehanna and Tioga Turnpike	US Rt. 11, Salem Twp	Vernacular Highway	1807-1810	Eligible, Criterion A
GAI-26	House (Red Brick Studios)	1405 Berwick-Hazleton Highway (SR 93), Nescopeck Twp	Masonry Vernacular, Gothic Revival Residence	c1880	Eligible, Criterion C
GAI-27	Pennsylvania Railroad-Sunbury Line/ Delaware & Hudson Railroad	Along Susquehanna River in Vicinity of River Road and SR 239, Nescopeck Twp	Vernacular Railroad	c1870	Eligible, Criterion A
GAI-36 through GAI-45	Wapwallopen Historic District	454 through 480 South River Street, Wapwallopen	Vernacular, Italianate, Gothic Revival, Queen Anne, Stick, Colonial Revival Historic District	c1870-c1900	Eligible, Criteria A and C

Assessment of Effects

In consideration of impacts from the undertaking, since the existing facility includes two cooling towers that reach 570 feet in height, it is unlikely that proposed construction activities will result in a visual effect that diminishes the significant historical and/or architectural features of these resources. However, GAI recommends the preparation of a Criteria of Effects Evaluation Report once concurrence on eligibility recommendations for the architectural and historical resources identified in the survey is received from the PHMC-BHP. This report will include a full assessment of the direct physical impacts to resources from the proposed project, as well as secondary effects.

Archaeological Sites

Summary and Recommendations

GAI identified 11 archaeological sites and 25 isolated finds during the Phase Ib archaeological survey. The 25 isolated finds each represent single prehistoric findspots (see Table 18, Chapter IV). These isolated finds do not meet PHMC-BHP’s criteria to qualify as archaeological sites and do not represent significant archaeological resources; these isolated finds warrant no further investigations. The 11 archaeological sites identified during Phase Ib

survey include 8 historic and 3 prehistoric sites. Summaries and recommendations for these sites are presented in Table 20 and reviewed briefly below.

Table 20. Identified Archaeological Sites: Summary and Recommendations

Site #	Area	Section	Dimensions (m)	Artifacts (Prehist)	Artifacts (Hist)	Site Type	Age	NRHP Eligibility Recommendations	Recommendations
Site 1	West Alt	1	3 x 21	3	--	Lithic scatter	Unknown Prehistoric	Not Eligible	No Further Work
Site 2	West Alt	7	38 x 76	--	159	Domestic Site	Early to mid 19 th c	Potentially Eligible	Avoid/Phase II
Site 3	West Alt	13	20 x 20	--	102	Domestic Site	Early to mid 20 th c	Potentially Eligible	Avoid/Phase II
Site 4	West Alt	14	30 x 45	--	361	Domestic Site	Mid 19 th to Early 20 th c	Potentially Eligible	Avoid/Phase II
Site 5 / 36LU51	Area 7	2	152 x 260	48	35	Lithic scatter	EA, LA, EW*	Potentially Eligible	Avoid/Phase II
Site 6	West Alt	3	5 x 5	2	--	Lithic scatter	Unknown Prehistoric	Not Eligible	No Further Work
Site 7	West Alt	30	52 x 145	1	364	Farmstead / Foundations	Late 19 th to Mid 20 th c	Potentially Eligible	Avoid/Phase II
Site 8	Confers Lane	26	122 x 168	--	135	Domestic Site / Possible Foundation	Mid to late 20 th	Not Eligible	No Further Work
Site 9	West Alt	17	25 x 115	2	74	Domestic Site	Mid to Late 19 th c and 20 th c	Potentially Eligible	Avoid/Phase II
Site 10	West Alt	31	128 x 137	--	Over 137	Farmstead / Foundations	Mid 19 th to 20 th c	Potentially Eligible	Avoid/Phase II
Site 11	West Alt	21	10 x 20	--	23	Artifact Scatter	19 th c	Not Eligible	No Further Work

*EA=Early Archaic; LA=Late Archaic; EW=Early Woodland

Historic Sites

Phase Ib survey documented eight archaeological sites with historic components. All of these sites occur in upland settings in the western portion of the project. Seven sites were located in the West Alternative and one was identified in the Confers Lane Parcel, along the east edge of the West Alternative. Historic sites include two farmsteads with foundations (Sites 7 and 10), five domestic sites (Sites 2, 3, 4, 8 and 9) and one artifact scatter (Site 11)

Farmsteads with Foundations (n=2)

Sites 7 and 10 represent 19th to 20th century farmsteads with associated foundations. Site 7 (Sink Site) consists of a relatively high density of 19th to mid 20th century kitchen and architectural debris found in association with a stone house foundation, a stone and concrete barn foundation, a stone-lined well and a well/cistern. Phase Ib shovel testing indicates that the site has good integrity. GAI concludes that Site 7 has a potential to yield dateable features and additional diagnostic artifacts which may contribute important information on the historic occupation of this locality. *Based on its information potential, Site 7 is recommended as Potentially Eligible to the NRHP under Criterion D. If Site 7 cannot be avoided by proposed construction, Phase II archaeological investigations are recommended to evaluate the site's NRHP eligibility.*

Site 10 (Kisner Farmstead) represents the remains of a mid 19th to 20th century farmstead. At least ten structures (including a farmhouse, barns, outbuildings and a springhouse) were standing at the site as recently as 2005; all structures were demolished prior to 2007. The site includes a relatively high density of mid 19th to mid 20th century artifacts as well as the surface remains of three structures. Historic mapping indicates a house in this locality prior to

1873. The recovery of 19th century artifacts during shovel testing suggests that intact deposits exist beneath the footprints of the site's 20th century structures. Site 10 has a potential to yield dateable features and additional diagnostic artifacts which may contribute important information on changes in farms from the mid 19th century to the present in the area. *Based on its information potential, Site 10 is recommended as Potentially Eligible to the NRHP under Criterion D. If Site 10 cannot be avoided by proposed construction, Phase II archaeological investigations are recommended to evaluate its NRHP eligibility.*

Domestic Sites (n=5)

Sites 2, 3, 4, 8, and 9 consist of the remains of domestic sites ranging in age from the early 19th century to the late 20th century. Site 2 is composed of an early to mid 19th century surface artifact scatter consisting largely of kitchen-related specimens, with low quantities of architectural debris and other artifacts. This artifact sample likely represents a domestic occupation. Historic map review identified no structure in this location. The low quantity of architectural-related artifacts may indicate that the area formerly contained a log house, possibly dating to the second and third quarters of the 19th century. Because of its good integrity and likely association with a domestic occupation, GAI concludes that Site 2 has a potential to contribute important information on the early to mid 19th century utilization of the area. *Site 2 is recommended as Potentially Eligible to the NRHP under Criterion D. If Site 2 cannot be avoided by proposed construction, Phase II archaeological investigations are recommended to determine the site's NRHP eligibility.*

Site 3 consists of an early to mid 20th century surface artifact scatter, composed predominantly of kitchen-related artifacts, along with limited architectural debris and activities-related specimens. Cartographic research documents a complex of structures in this locality in 1939; these structures were apparently demolished prior to 1955. Site 3 appears to have good integrity. Based on its integrity, early to mid 20th century temporal affiliation, and possible association with former structures, GAI concludes that Site 3 has a potential to contribute important information on the historic occupation of this locality. *Site 3 is recommended as Potentially Eligible to the NRHP under Criterion D. If Site 3 cannot be avoided by proposed construction, Phase II archaeological investigations are recommended to determine the site's NRHP eligibility.*

Site 4 is composed of a relatively high density, mid 19th to early 20th century surface artifact scatter. As with Sites 2 and 3, the overwhelming majority of artifacts are kitchen-related specimens; low frequencies of architectural debris and other items are also present. The artifact assemblage suggests a domestic occupation. Historic map review indicates the presence of a structure in this vicinity in 1873. Due to the site's good integrity, relatively high artifact density, and likely association with a former structure, GAI concludes that Site 4 has a potential to contribute important information on the historic utilization of this area. *Site 4 is recommended as Potentially Eligible to the NRHP under Criterion D. If Site 4 cannot be avoided by proposed construction, Phase II archaeological investigations are recommended to evaluate the site's NRHP eligibility.*

Site 8 (Shortz Site) consists of a mid to late 20th century artifact scatter associated with a shallow, surface depression (possible foundation) and an above-ground well/cistern. The artifact assemblage is composed predominantly of kitchen-related specimens and architectural debris, characteristic of a domestic site; many of these artifacts are modern. Cartographic review documents structures in this locality in 1939 and 1955. The concrete-capped well/cistern appears to date to the 20th century. The presence of modern artifacts, a 20th century well/cistern feature, and localized fill deposits (likely associated with demolition

activities) indicates a reduced integrity in portions of the site. Accordingly, GAI concludes that Site 8 has a low potential to contribute important information on mid-twentieth century historic utilization of this area. *Based on its low information potential Site 8 is recommended as Not Eligible to the NRHP. No further archaeological investigations are recommended at this site.*

Site 9 represents the remains of two horizontally distinct historic components—a mid-to-late 19th century domestic site (eastern portion) and a 20th century domestic site (western portion). The eastern portion of the site includes a scatter of mid-to-late 19th century artifacts and a surface depression (possible foundation) possibly associated with a house mapped in this area prior to 1873. Integrity in this portion of the site was good. Shovel testing in the site's western portion yielded no artifacts in the mapped vicinity of a 20th century outbuilding (likely a barn). GAI recommends that the mid-to-late 19th century component (eastern portion of the site) has a high potential to contribute important information on the historic occupation of this area. *Site 9 is recommended as Potentially Eligible to the NRHP under Criterion D. If Site 9 cannot be avoided by proposed construction, Phase II archaeological investigations are recommended to evaluate the site's NRHP eligibility.*

Artifact Scatters (n=1)

Site 11 represents a small, low density, mid 19th century artifact scatter in a wooded upland setting. The artifact assemblage consists of kitchen and architectural debris (22 ceramics and 1 cut nail). The integrity of this site is good. Because of its small size, low density, and lack of associated features or structures, GAI concludes that Site 11 has a low potential to contribute important information on the historic utilization of this locality. *Based on its low information potential Site 11 is recommended as Not Eligible to the NRHP. No further archaeological investigations are recommended at this site.*

Prehistoric Sites

GAI identified three prehistoric sites (Sites 1, 5 and 6) in the project area. Site 1 is a small, low-density prehistoric artifact scatter ($n=3$ lithics) located in a cultivated upland field. This site likely represents the remains of a small, brief prehistoric occupation. Because of the absence of diagnostic artifacts and cultural features, the age of the site is indeterminate. *Based on its low density and indeterminate age, Site 1 is recommended as Not Eligible to the NRHP and no further investigations of this site are recommended.*

Site 5 (36LU51) represents a low-density, widely-dispersed prehistoric artifact scatter occupying a cultivated field on a low terrace/floodplain bordering the Susquehanna River. The site likely represents or is associated with previously-recorded Site 36LU51, a small Woodland/Late Woodland period site, mapped within the northeast corner of Site 5. The Phase Ib artifact sample ($n=48$) contains three diagnostic projectile points (Late Archaic Brewerton corner-notched point, Terminal Archaic to Early Woodland Frost Island or Orient Fishtail point, and possible Early Archaic Kirk corner-notched point). Based on this artifact assemblage, the site represents the remains of brief, prehistoric occupations dating to the Early Archaic, Late Archaic, and Terminal Archaic/Early Woodland periods. Based on the site's good integrity and the recovery of temporally diagnostic artifacts Site 5 has a potential to yield additional diagnostic artifacts and, possibly, prehistoric cultural features. GAI concludes that Site 5 has a high potential to contribute important information on the prehistoric occupation of this area. *Site 5 is recommended as Potentially Eligible to the NRHP under Criterion D. If Site 5 cannot be avoided by proposed construction, Phase II archaeological investigations are recommended to evaluate the site's NRHP eligibility.*

Site 6 consists of a small, low-density prehistoric artifact scatter situated in a cultivated upland field. Its minimal artifact assemblage (n=2 lithics) suggest that this site represents a small, brief prehistoric occupation. Because of the absence of diagnostic artifacts and cultural features, the age of the site is indeterminate. *Based on its low density and indeterminate age, Site 6 is recommended as Not Eligible to the NRHP and no further investigations of this site are recommended.*

In addition to these prehistoric sites, one to two nondiagnostic prehistoric artifacts were recovered from disturbed contexts in association with historic artifacts in historic Sites 7 (n=1) and 9 (n=2), as well as from Area 6, Section 1 (Test Unit 3) (n=2). *Due to their disturbed context, these prehistoric artifacts do not represent archaeological sites and do not warrant further investigations.*

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APPENDIX A – PHRS FORMS

Management Summary Phase Ib Cultural Resources Investigation

Bell Bend Nuclear Power Plant
Luzerne County, Pennsylvania

ER 81-0658-079

Prepared for:

Areva NP Inc.
and
UniStar Nuclear Development, LLC

Prepared by:

Barbara A. Munford, M.A.,
Lori A. Frye, M.A., Jared N. Tuk and
Matthew G. Hyland, Ph. D.

GAI Consultants Inc.
385 East Waterfront Drive
Homestead, Pennsylvania
GAI Project No. C080204.10



September 9, 2008



Contents

Photo/Site Plan Sheet (89A)
PHMC Historic Resource Survey Form
Location Map
Photos

(in order of presentation)

- 1 Old River Church
- 2 Woodcrest
- 3 Hummel Farmstead
- 4 Stone Arch Bridge
- 5 Kiliti Farm
- 6 Heller Farm
- 7 North Market Street Bridge
- 8 North Branch Pennsylvania Canal
- 9 Bloomsburg Division of the Delaware, Lackawanna & Western Railroad
- 10 Susquehanna and Tioga Turnpike
- 11 House at 29 Bell Bend Road
- 12 House at 49 Bell Bend Road
- 13 Valley View Farm
- 14 Michaels Farm
- 15 House (Red Brick Studios)
- 16 PRR Sunbury Line/Delaware & Hudson Railroad
- 17 Farm at 950 Berwick-Hazleton Highway (SR 93)
- 18 House at 944 Berwick-Hazleton Highway (SR 93)
- 19 Farm at 783 Berwick-Hazleton Highway (SR 93)
- 20 Wapwallopen Historic District
- 21 Farm at 811 River Road (SR 3036)
- 22 Farm at 212 East Cherry Road (T 379)

PENNSYLVANIA HISTORIC RESOURCE SURVEY FORM – PHOTO/SITE PLAN SHEET

Pennsylvania Historical and Museum Commission
Bureau of Historic Preservation
Commonwealth Keystone Building, 2nd Floor
400 North Street, Harrisburg, PA 17120-0093

Survey Code / Tax Parcel / Other No.: _____ County: Luzerne 079

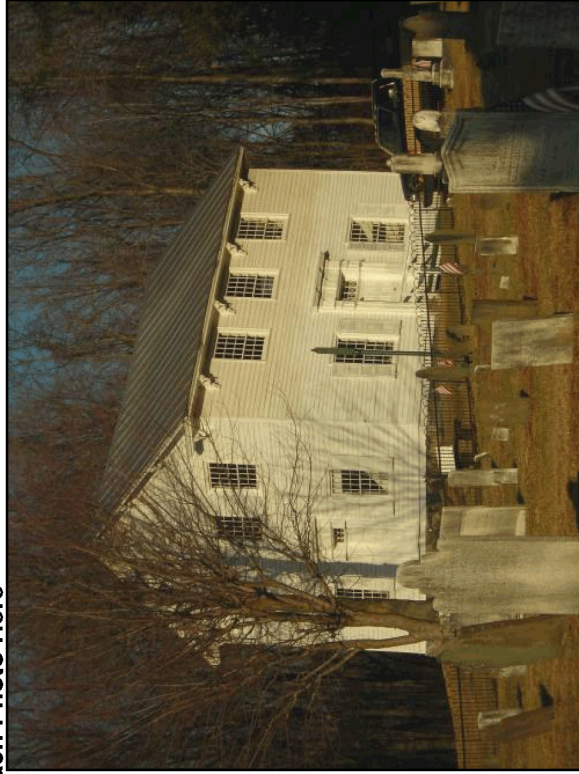
Municipality: Conyngham Township Address: 3200 SR 239

Historic Name / Other Name: Union Reformed and Lutheran Church (Old River Church and Burying Ground)

SITE PLAN

PHOTO INFORMATION

Attach Photo Here



Number	Description of View	Direction of Camera
_____	Facade and SW Elevation	<u>NE</u>
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____

Photographer Name: Matthew G. Hyland Date: January 28, 2008

Negative Location: GAI Consultants, Inc.

Historic Resource Survey Form

PENNSYLVANIA HISTORICAL AND MUSEUM COMMISSION
Bureau for Historic Preservation

Key # _____
ER# _____

Name, Location and Ownership *(Items 1-6; see Instructions, page 4)*

HISTORIC NAME Union Reformed and Lutheran Church

CURRENT/Common Name Old River Church

STREET ADDRESS 3200 SR 239 Wapwallopen, PA ZIP 18660

LOCATION Wapwallopen

MUNICIPALITY Conyngham Township COUNTY Luzerne

TAX PARCEL #/YEAR _____ USGS QUAD Sybertsville, PA; Zone 18

OWNERSHIP Private
 Public/Local Public/County Public/State Public/Federal

OWNER NAME/ADDRESS _____

CATEGORY OF PROPERTY Building Site Structure Object District

TOTAL NUMBER OF RESOURCES 3

Function *(Items 7-8; see Instructions, pages 4-6)*

Historic Function	Subcategory	Particular Type
<u>Religion</u>	<u>Religious structure</u>	<u>Church</u>
<u>Funerary</u>	<u>Cemetery</u>	<u>Cemetery</u>
<u>Domestic</u>	<u>Building</u>	<u>Privy</u>
_____	_____	_____
_____	_____	_____

Current Function	Subcategory	Particular Type
<u>Religion</u>	<u>Religious structure</u>	<u>Church</u>
<u>Funerary</u>	<u>Cemetery</u>	<u>Cemetery</u>
<u>Domestic</u>	<u>Building</u>	<u>Privy</u>
_____	_____	_____
_____	_____	_____

Architectural/Property Information *(Items 9-14; see Instructions, pages 6-7)*

ARCHITECTURAL CLASSIFICATION

Greek Revival

EXTERIOR MATERIALS and STRUCTURAL SYSTEM

Foundation	<u>Stone</u>	_____
Walls	<u>Weatherboard</u>	_____
Roof	<u>Metal</u>	_____
Other	_____	_____
Structural System	<u>Wood-General</u>	_____

WIDTH _____ (feet) or 3 (# bays) DEPTH _____ (feet) or 3 (# rooms) STORIES/HEIGHT 2

Key # _____
ER# _____

Property Features (Items 15-17; see Instructions, pages 7-8)

Setting Rural local road

Ancillary Features

Fencing _____

Acreege _____ (round to nearest tenth)

Historical Information (Items 18-21; see Instructions, page 8)

Year Construction Began _____ Circa Year Completed 1833 Circa

Date of Major Additions, Alterations 1952 Circa _____ Circa _____ Circa

Basis for Dating Documentary Physical

Explain Cornerstone and historical marker at the site.

Cultural/Ethnic Affiliation(s) _____

Associated Individual(s) _____

Associated Event(s) _____

Architect(s) _____

Builder(s) Daniel Walp, Michael Weiss, William Hess, Peter Maurer

Submission Information (Items 22-23; see Instructions, page 8)

Previous Survey/Determinations _____

Threats None Neglect Public Development Private Development Other

Explain There are no known threats to this resource.

This submission is related to a non-profit grant application business tax incentive

NHPA/PA History Code Project Review other

Preparer Information (Items 24-30; see Instructions, page 9)

Name & Title Matthew G. Hyland/Megan L. Otten

Date Prepared July 28, 2008 Project Name Berwick, PA NPP-1 Project

Organization/Company GAI Consultants, Inc.

Mailing Address 385 East Waterfront Drive Homestead, PA 15120

Phone 412.476.2000 Email _____

Key # _____

ER# _____

National Register Evaluation *(Item 31; see Instructions, page 9)*

(To be completed by Survey Director, Agency Consultant, or for Project Reviews ONLY.)

Not Eligible (due to lack of significance and/or lack of integrity)

Eligible Area(s) of Significance Religion, Architecture, Community Planning and Development

Criteria Considerations Criteria A, B, and C Period of Significance 1833-1952

Contributes to Potential or Eligible District District Name _____

Bibliography *(Item 32; cite major references consulted. Attach additional page if needed. See Instructions, page 9.)*

Historical marker at site.

Janosov, R.A.

"The duPont Powder Mills at Wapwallopen, Pennsylvania, 1856-1912," in The History of Northeastern Pennsylvania. Proceedings of the Third Annual Conference on the History of Northeastern Pennsylvania: The Last 100 Years. Luzerne County Community College Social Science/History Department, Nanticoke, Pennsylvania, 1991.

Lounsbury, C.

"God is in the Details: The Transformation of Ecclesiastical Architecture in Early Nineteenth-Century America," in Perspectives in Vernacular Architecture Journal, pp. 1-21, Vol. 13, No. 1, 2006.

Pearce, S.

Annals of Luzerne County. J.B. Lippincott and Company, Philadelphia, Pennsylvania, 1860

Wapwallopen Historical Society.

A History of the Wapwallopen Region. Boyles Print Shop, Nescopeck, Pennsylvania, 1964.

Additional Information

The following must be submitted with form. Check the appropriate box as each piece is completed and attach to form with paperclip.

Narrative Sheets—Description/Integrity and History/Significance (See Instructions, pages 13-14)

Current Photos (See Instructions, page 10)

Photo List (See Instructions, page 11)

Site Map (sketch site map on 8.5x11 page; include North arrow, approximate scale; label all resources, street names, and geographic features; show exterior photo locations; See Instructions, page 11)

Floor Plan (sketch main building plans on 8.5x11 page; include North arrow, scale bar or length/width dimensions; label rooms; show interior photo locations; See Instructions, page 11)

USGS Map (submit original, photocopy, or download from TopoZone.com; See Instructions, page 12)

Send Completed Form and Additional Information to:

National Register Program
Bureau for Historic Preservation/PHMC
Keystone Bldg., 2nd Floor
400 North St.
Harrisburg, PA 17120-0093

Key # _____
ER# _____

Photo List (Item 33)

See pages 10-11 of the Instructions for more information regarding photos and the photo list. In addition to this photo list, create a photo key for the site plan and floor plans by placing the photo number in the location the photographer was standing on the appropriate plan. Place a small arrow next to the photo number indicating the direction the camera was pointed. Label individual photos on the reverse side or provide a caption underneath digital photos.

Photographer name Matthew G. Hyland

Date January 2008

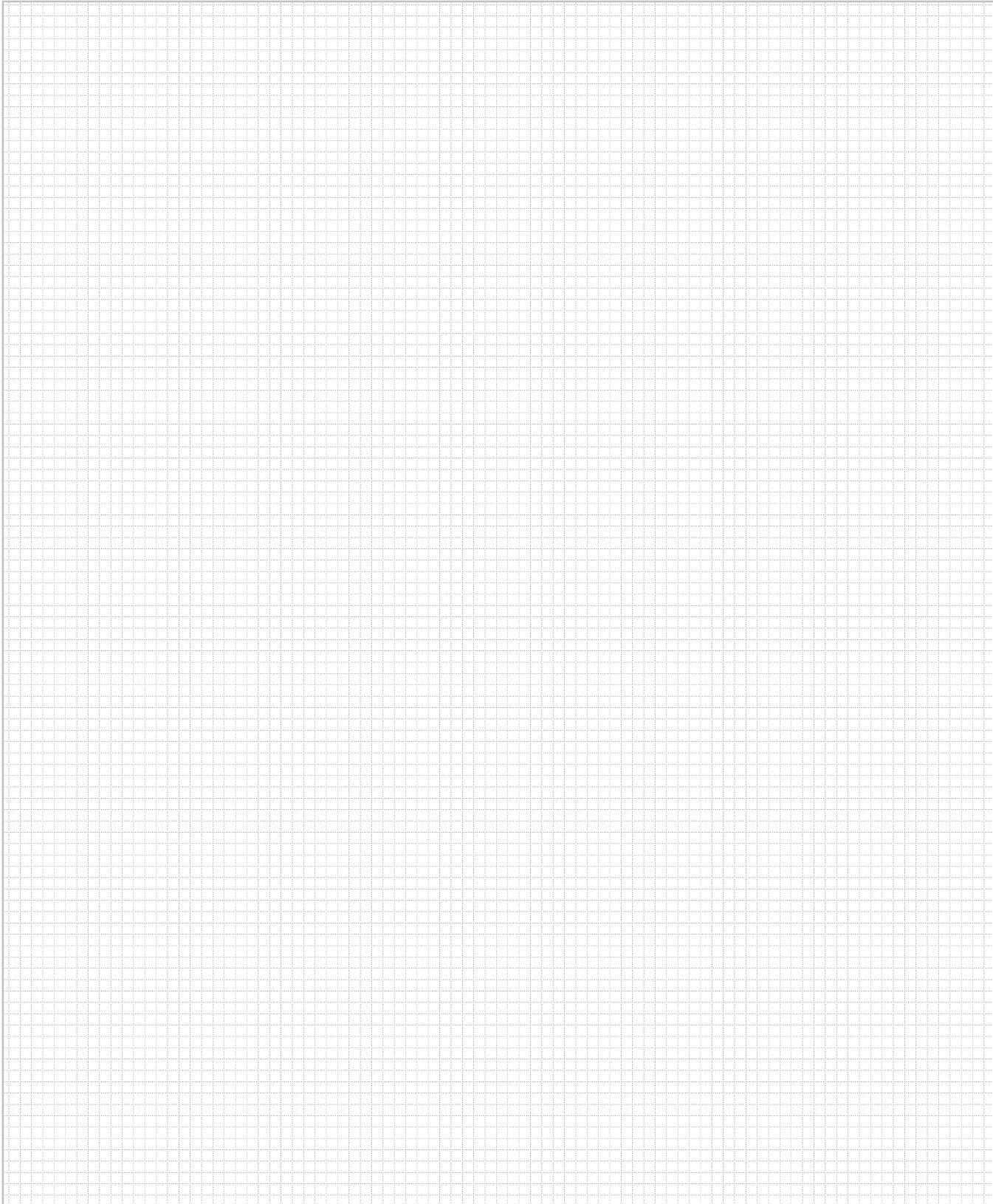
Location Negatives/Electronic Images Stored GAI Consultants, Inc.

Photo #	Photo Subject/Description	Camera Facing
1	Facade and Southwest Elevation	NE
2	East and South Elevations	NW
3	Privy-East and South Elevations	NW
4	Cemetery Overview	SE

Key # _____
ER# _____

Site Plan (Item 34)

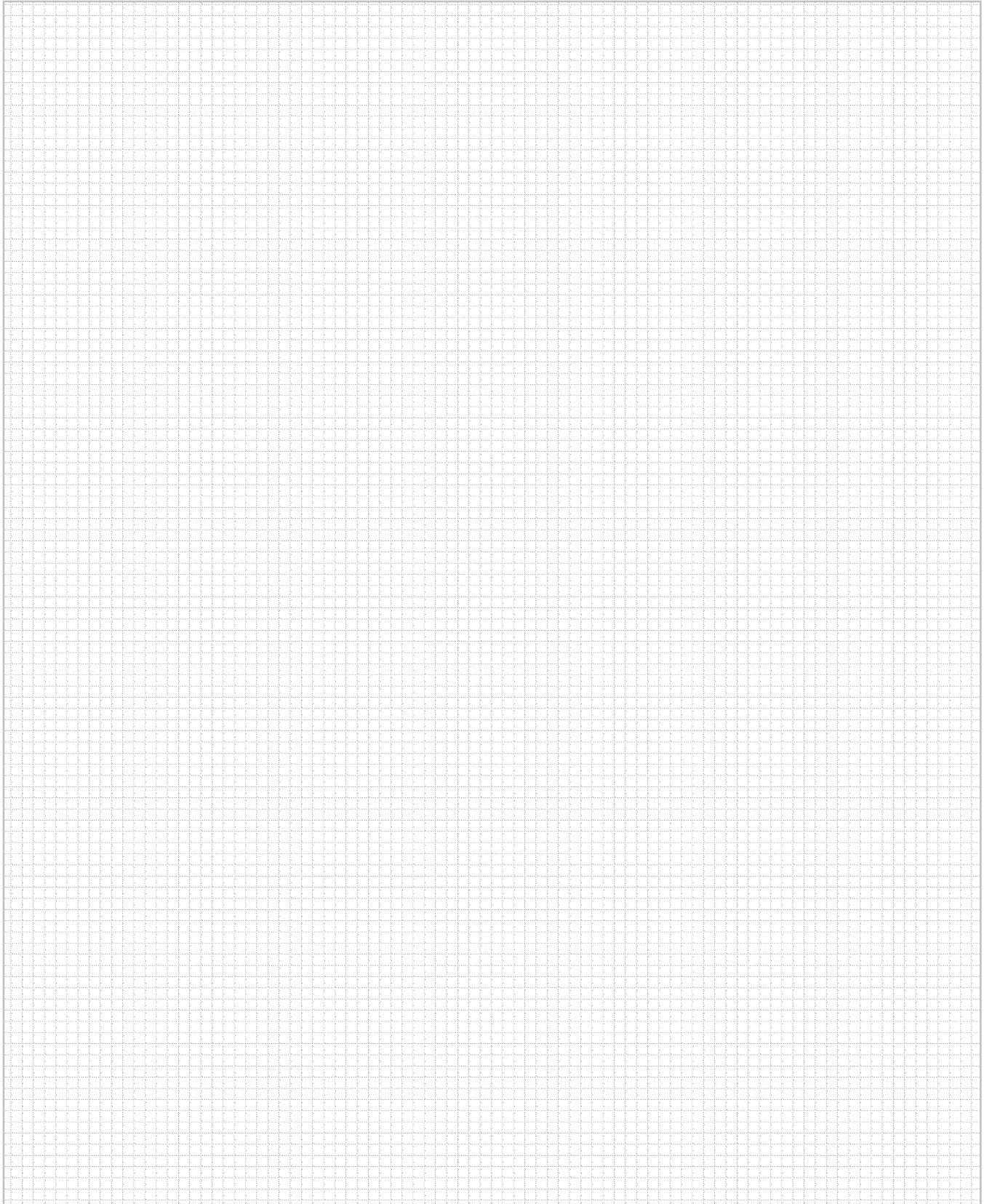
See page 11 of the Instructions for more information regarding the site plan. Create a sketch of the property, showing the footprint of all buildings, structures, landscape features, streets, etc. Label all resources and streets. Include a North arrow and a scale bar (note if scale is approximate). This sheet may be used to sketch a plan or another map/plan may be substituted.



Key # _____
ER# _____

Floor Plan (Item 35)

See page 11 of the Instructions for more information regarding the floor plan. Provide a floor plan for the primary buildings, showing all additions. Label rooms and note important features. Note the date of additions. Include a North arrow and a scale bar (note if scale is approximate) or indicate width/depth dimensions. This sheet may be used to sketch a floor plan or another map/plan may be substituted.



Physical Description and Integrity (Item 38)

Provide a current description of the overall setting, landscape, and resources of the property. See page 13 of the Instructions for detailed directions. Continue on additional sheets as needed. Suggested outline for organizing this section:

- Introduction [summarize the property, stating type(s) of resource(s) and function(s)]
- Setting [describe geographic location, streetscapes, natural/man-made landscape features, signage, etc.]
- Exterior materials, style, and features [describe the exterior of main buildings/resources]
- Interior materials, style, and features [describe the interior of main buildings/resources]
- Outbuildings/Landscape [describe briefly additional outbuildings/landscape features found on property, substitute Building Complex Form if preferred; See Instructions, page 18]
- Boundaries [explain how/why boundaries chosen, such as historic legal parcel, visual natural features such as tree lines, alley separating modern construction, etc.]
- Integrity [summarize changes to the property and assess how the changes impact its ability to convey significance]

(Text entered directly into form fields will not permit formatting adjustments, such as spell checking or italicizing. Instead, you may wish to cut-and-paste text from another document into the field below; “unprotect” the document for this section, or prepare the “Physical Description and Integrity” narrative as a separate document.)

Built in 1833, this Greek Revival church building stands two stories tall on a stone foundation. The exterior of this building is clad in weatherboard, and the gable roof is topped by V-crimp metal sheathing. The roofline is marked by a plain frieze with ornately carved corbels and brackets with drop pendants, and the gable ends have plain rakeboards with cornice returns. The building features detailed wood moulding throughout, including cornerboards, window surrounds, and ornate door surrounds on the east, west, and south elevations. The fenestration consists of 15/15, 15/10, and 30/25 double-hung wood sash windows, trimmed by shutters on the first story. Additionally, decorative gable end attic story windows are present on the east and west elevations, and each entrance is marked by elaborate transom windows and frontispiece with raised panel doors. Stone steps mark the entrances, with a modern wood access ramp on the south elevation. According to a historical marker at the site, the church building was restored in 1952. A one-story, concrete block privy is also located on the property. This privy has a gable roof with composition shingles and no window apertures.

Associated with the church is a cemetery, which is located to the south of the building. This cemetery is generally rectilinear and is surrounded by a wrought iron decorative fence. The cemetery contains several hundred burials, with the earliest noted date being 1805. The most recent burial dates from 1975. The cemetery contains the burials of some of the earliest settlers in the Wapwallopen area, including some of its more prominent pioneer residents.

History and Significance (Item 39)

Provide an overview of the history of the property and its various resources. Do not substitute deeds, chapters from local history books, or newspaper articles. See page 14 of the Instructions for detailed directions. Continue on additional sheets as needed.

Suggested outline for organizing this section:

- History [Summarize the evolution of the property from origin to present]
- Significance [Explain why the property is important]
- Context and Comparisons [Describe briefly similar properties in the area, and explain how this property compares]

(Text entered directly into form fields will not permit formatting adjustments, such as spell checking or italicizing. Instead, you may wish to cut-and-paste text from another document into the field below; “unprotect” the document for this section, or prepare the “History and Significance” narrative as a separate document.)

The Old River Church was constructed in 1833 by the Union Reformed and Lutheran Congregations. The woodwork was hand-carved by Master Carpenter Daniel Walp, with the assistance of Michael Weiss and William Hess. Hardware for the building may have been supplied by Peter Maurer, a local blacksmith. On September 4, 1887, the Reformed congregation discontinued their use of the church, and on October 4, 1908, the Lutheran congregation did as well. The building underwent restoration in 1952 by the Wapwallopen Historical Society.

Wapwallopen's early history includes missionary contact with Delaware and Shawnee groups and later the arrival of agricultural pioneers. European missionaries visited native groups at Wapwallopen in 1744. At that time, John Martin Mack and Christian Fröhlich, Moravian missionaries, called the area Hallobanck. In 1748, John Martin Mack and David Zeisberger noted one family living there. Colonial land grants to tracts in the Wapwallopen area date from 1769. Early Euro-American settlers of German, Swiss, and Alsatian ancestry arrived from Northampton County, Pennsylvania. Nescopeck Township was formed in 1792 after the American Revolution. Local trade in agricultural products and merchandise utilized road networks that connected Wapwallopen to Easton and Philadelphia.

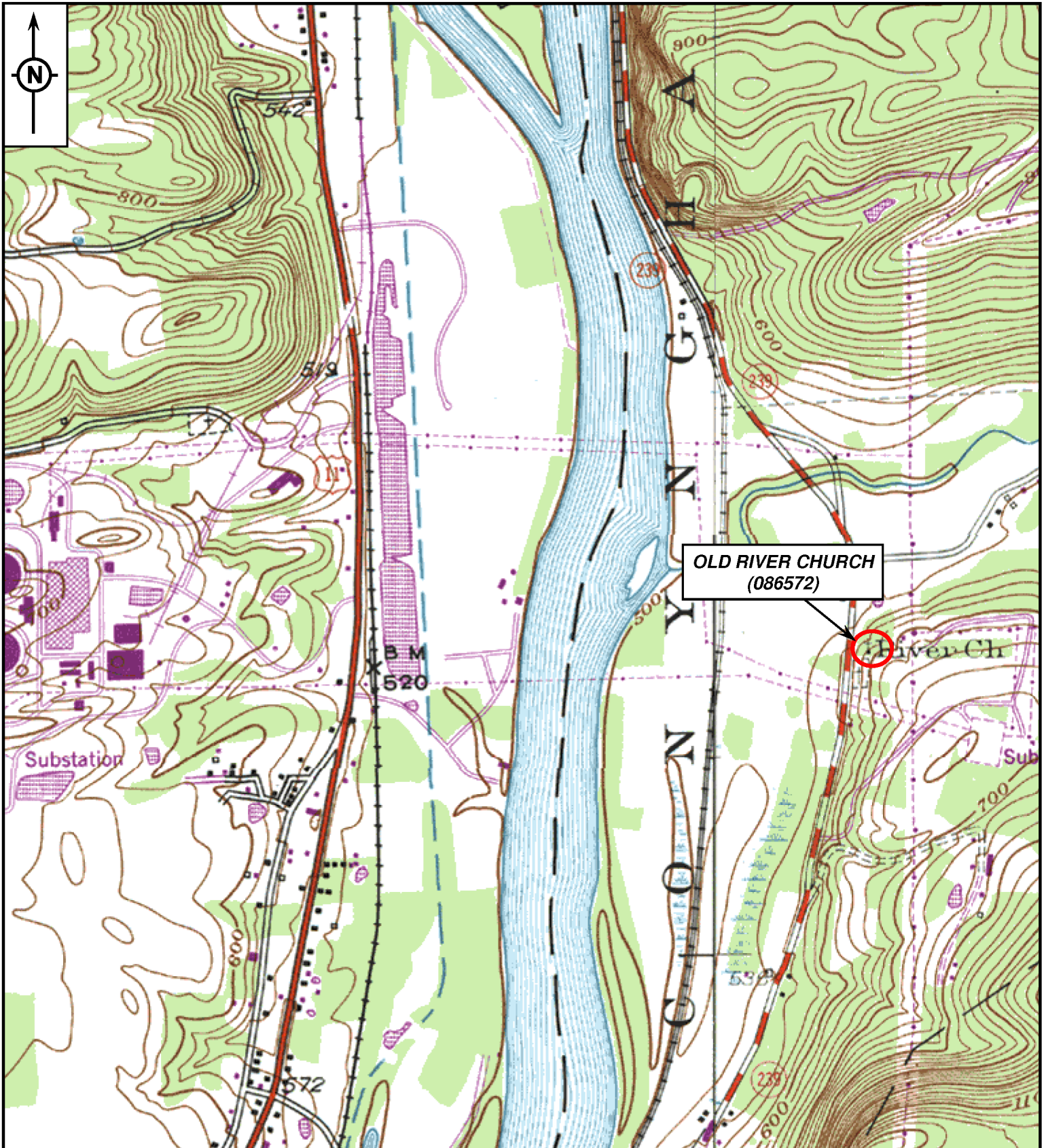
Residents established a school in Wapwallopen in 1808. Classes were taught in German. After 1811, Wapwallopen featured a grist mill, a sawmill, and a distillery. A ferry across the Susquehanna River connected Wapwallopen to Beach Haven, and later to the improved transportation networks of the canal and railroad on the opposite shore (Wapwallopen Historical Society 1964: 3, 14-20).

Wapwallopen's domestic economy remained agricultural in character throughout the nineteenth century until the duPont Powder Company recapitalized an existing powder works in 1859. Established in 1856, the Parrish, Silver & Company powder works operated a mill along Wapwallopen Creek until 1859, when bankruptcy forced a sale to the duPont Company. These powder companies profited from the anthracite industry's demand for blasting powder. The duPont Company closed the mill in 1912 (Janosov 1991: 84-85).

The cemetery at the Union Lutheran and Reformed Church includes the graves of many of Wapwallopen's prominent local founding families. For example, John Andress, Abraham Andress, Peter Ennes, John Fenstermacher, Philip Fenstermacher, Michael Weiss, Johann Martin Harter (a veteran of the American Revolution), Isaac Heller, Jeremiah Hess, Peter Maurer, and their families are buried here. The Heller and Fenstermacher families were prominent millers in Wapwallopen (Wapwallopen Historical Society 1964: 30-62). Being the second Lutheran Church established in Nescopeck, this church community building and cemetery illustrate the growth and development of the Lutheran church in Nescopeck Township. In 1860, the congregation included 52 German Reformed Lutherans and 70 Lutherans (Pearce 1860: 306).

The massing and plan, as well as the architectural refinement, of the church reflect theological attitudes of the Wapwallopen congregation toward the material world, as well as the transformation of ecclesiastical architecture on the national level. The Union Lutheran and Reformed Church's "squarish rectangular" design is a late example of the traditional meetinghouse form, which featured an entrance aperture in the long wall and a three-sided gallery embracing a pulpit positioned on the back wall. By 1800, preferences in American ecclesiastical architecture were evolving in favor of decidedly rectangular and axial plans—with the principal entrance in the shorter gable end and larger window apertures. The intricate detailing in each doorway's frontispiece symbolizes the congregation's emphasis on music and the Eucharist in the liturgy. The pulpit and the altar in the interior mark the importance of the sacrament and scriptural exegesis in Lutheran worship in comparison to other Protestant sects. Furthermore, the church's ornamentation illustrate the Lutheran's appreciation for embellishments that "glorify the majesty of God."

While the church's design and style symbolize Lutheran spiritual practices, the church's character also manifests a historic period during the Second Great Awakening when a church building's components, which had been indexical of the denomination worshipping there, no longer clearly differentiated regional or denominational attributes and preferences (Lounsbury 2006: 1-18).



**OLD RIVER CHURCH
(086572)**

SOURCE: USGS 7.5 MINUTE BERWICK, PA
QUADRANGLE MAP, 1955 (PHOTOREVISED 1969,
1976) AND SYBERTSVILLE, PA QUADRANGLE MAP,
1955 (PHOTOREVISED 1969)



PROJECT LOCATION



**OLD RIVER CHURCH
(086572)
BELL BEND NPP-1 PROJECT
LUZERNE COUNTY**

gai consultants

gai consultants



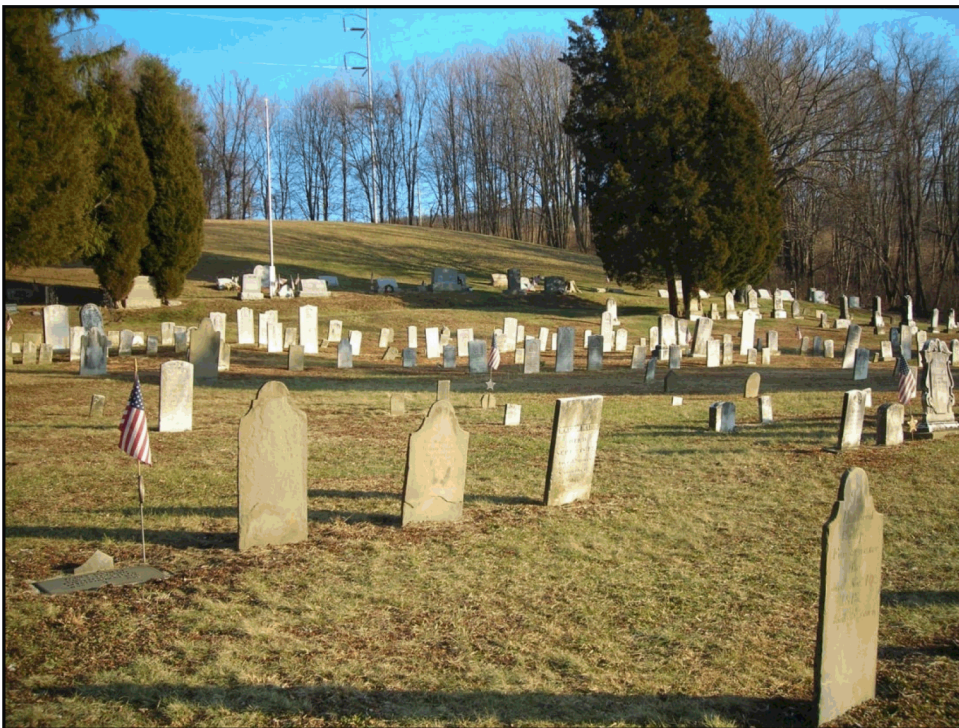
1. Photograph 1
2. Old River Church
3. Conyngham Township, Luzerne County
4. Facade and Southwest Elevation, Facing Northeast



1. Photograph 2
2. Old River Church
3. Conyngham Township, Luzerne County
4. East and South Elevations, Facing Northwest



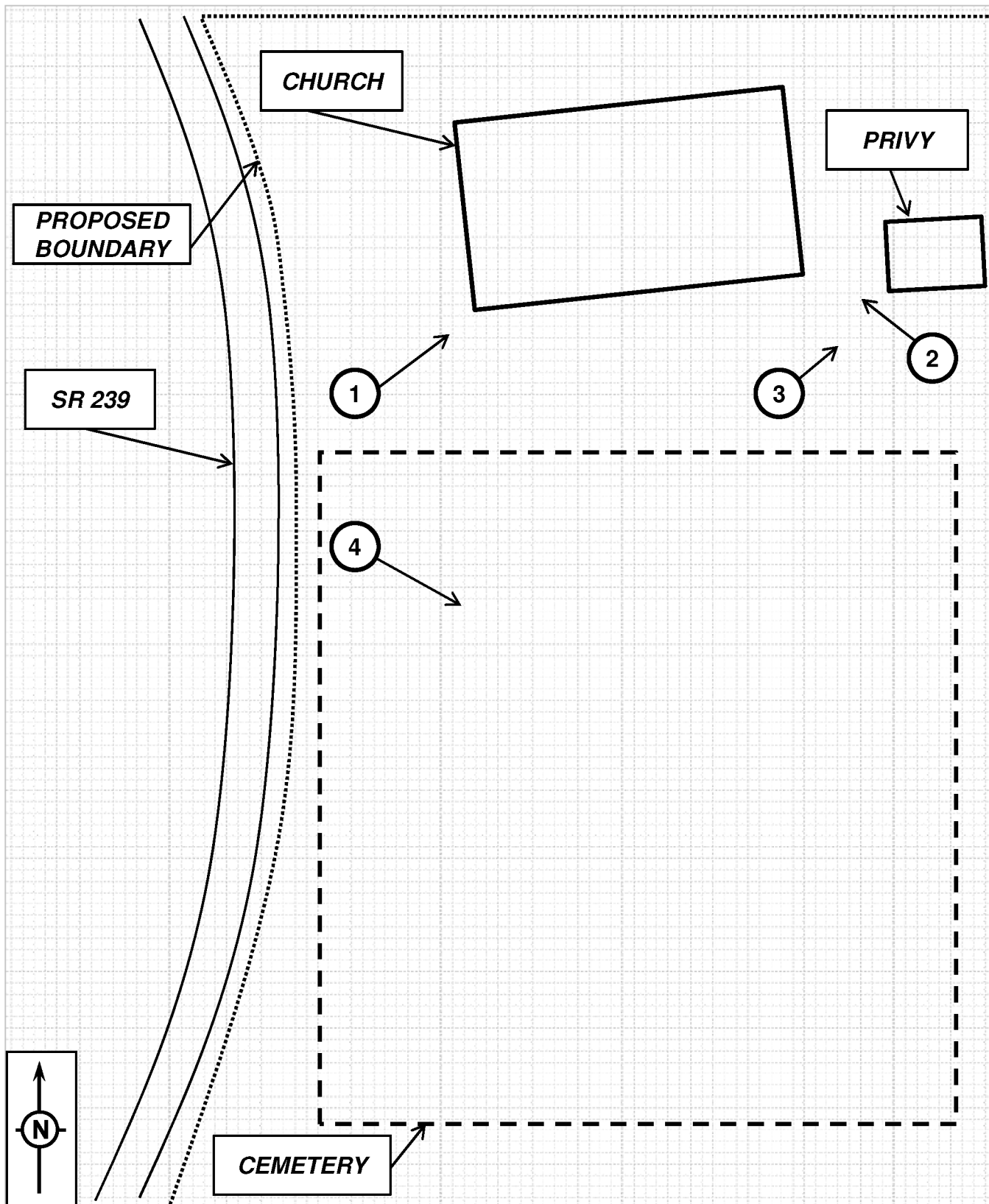
1. Photograph 3
2. Old River Church
3. Conyngham Township, Luzerne County
4. Privy-East and South Elevations, Facing Northwest



1. Photograph 4
2. Old River Church
3. Conyngham Township, Luzerne County
4. Cemetery Overview, Facing Southeast

Site Plan (Item 34)

See page 11 of the Instructions for more information regarding the site plan. Create a sketch of the property, showing the footprint of all buildings, structures, landscape features, streets, etc. Label all resources and streets. Include a North arrow and a scale bar (note if scale is approximate). This sheet may be used to sketch a plan or another map/plan may be substituted.



ADDITIONAL PHOTOGRAPHS

1



2



3





PENNSYLVANIA HISTORIC RESOURCE SURVEY FORM – PHOTO/SITE PLAN SHEET
 Pennsylvania Historical and Museum Commission
 Bureau of Historic Preservation
 Commonwealth Keystone Building, 2nd Floor
 400 North Street, Harrisburg, PA 17120-0093

Survey Code / Tax Parcel / Other No.: _____ County: Luzerne 079
 Municipality: Conyngham Township Address: 3209 SR 239
 Historic Name / Other Name: Woodcrest

PHOTO INFORMATION

Attach Photo Here



Number	Description of View	Direction of Camera
_____	Facade and NW Elevation	<u>SE</u>
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____

Photographer Name: Matthew G. Hyland Date: January 28, 2008
 Negative Location: GAI Consultants, Inc.

Survey Code _____

Page 1 of 11

Date of Survey January 2008

Name of Surveyor Matthew G. Hyland

Farmstead Information (Page 1)
Identification and Location

Tax Parcel/Other No.: _____ Farm Acreage _____

County Luzerne Municipality Conyngham Township

Street Address 3209 SR 239

Historic Name A.K. Harter Farm

Other Name Woodcrest

UTM Coordinates Zone 18, 0405711 E, 4548347 N

Date of Farmstead 1805 to _____

Explain Basis for Dating Farmstead: A date stone indicates the farmstead dates back to 1805.

If historic or current function is different than agriculture, note and describe current function: Vacant/Not in Use

Survey Code _____

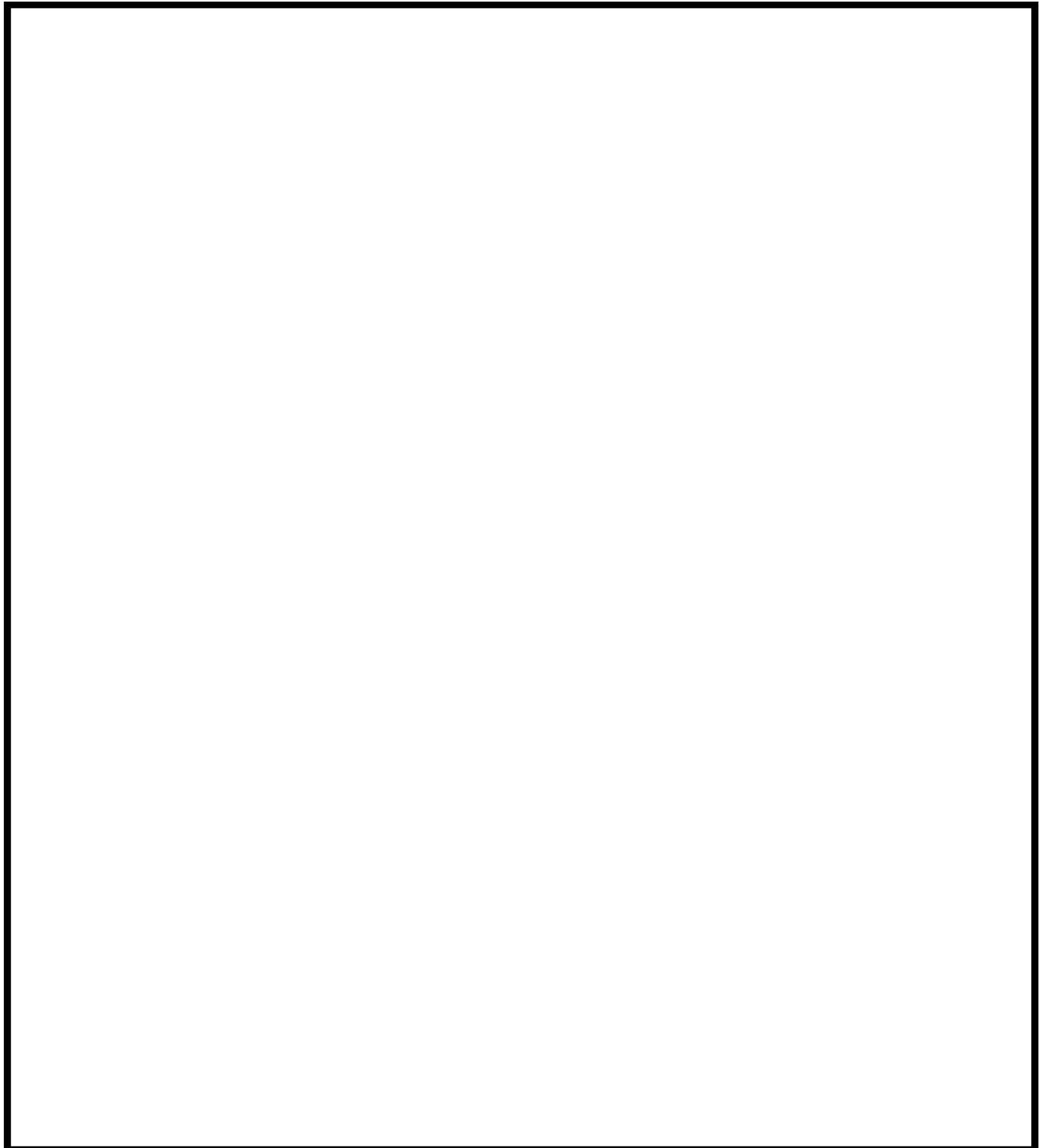
Page 2 of 11

Date of Survey January 2008

Name of Surveyor Matthew G. Hyland

Farmstead Information (Page 2)

Sketch of Farmstead showing relation of structures and landscape features to one another



Date of Survey January 2008 Name of Surveyor Matthew G. Hyland Site Number _____

Barn Information

Barn Type:

- | | |
|---|----------------------------------|
| <input checked="" type="checkbox"/> Pennsylvania Barn | _____ Ground Barn (grundscheier) |
| _____ Basement Barn | _____ One of a Kind Barn |
| _____ Three-Gable Barn | _____ Erie Shore Barn |
| _____ English Barn | _____ Rainbow Roof Barn |
| _____ Gable-Entry Bank Barn | _____ New England Barn |
| _____ Wisconsin Style Dairy Barn | _____ Foundation |
| _____ Round or Polygonal Barn | _____ Other (Specify) |

Exterior Materials:

- | | |
|-------------------------------------|---------------------------|
| Foundation <u>Stone</u> | Roof <u>V-crimp metal</u> |
| Walls <u>Horizontal wood siding</u> | Walls _____ |
| Other _____ | Other _____ |

Exterior Barn Features:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Banked | _____ Bridge on Eaves Side |
| _____ Not Banked | _____ Bridge on Gable End |
| _____ Forebay Enclosed on gable end(s) | |
| _____ Forebay Not Enclosed | |
| _____ Forebay Enclosed on Eaves Side | |
| _____ Forebay Extended and Supported with Posts | |
| _____ Outshed on Bankside (one or more) | |
| <input checked="" type="checkbox"/> Gable Roof | Footprint: |
| _____ Gambrel Roof | <input checked="" type="checkbox"/> Rectangular (incl square) |
| _____ Rainbow or Arched Roof | _____ Tee |
| _____ Shed Roof | _____ Ell |
| _____ Combination Roof | _____ Round |
| _____ Roof Ridge Ventilators | _____ Polygonal |
| | _____ Irregular |

Entry (check all that apply):

- _____ Large Doors in Gable End(s)
- Large Doors in Eaves Side
- _____ Dutch Doors Under Forebay
- _____ Human Doors
- _____ Dutch Doors (Location: _____)

Access:

- _____ One Level
- Multi Level
 - Ramp on Eaves Side
 - _____ Ramp on Gable End
 - Bank on Eaves Side
 - _____ Bank on Gable End

- ____ Doors in Forebay or Gable End Wall (for offloading or cross ventilation, not entry)
- Louvered Window Ventilators (shape, location w/molded wood drip caps & surrounds, all elevations)
- ____ Ventilation Slits or Circles
- ____ Star (shape, location _____)
- ____ Cutout Designs (shape, location _____)
- ____ Brick Design (shape, location _____)
- ____ Painted Designs (nature, location _____)
- ____ Date or Inscription (location and contents _____)
- ____ Hay Hood

Visible Exterior Alterations. Give estimated date, location, and materials if possible.

- Enclosed eaves side of Pennsylvania Barn forebay _____
- Windows for poultry _____
- Lower level windows for dairy cows added or enlarged _____
- Shed-roof, gable-end extension for corn and/or machinery _____
- Ell extension _____
- Horse power shed (usually on bankside) _____
- One-story additions for livestock One-room concrete block addition located on the south elevation.
- Gable end extension _____
- Storm shed stable level extension _____
- Shed roof eave side extension _____

Year Built: C. circa 1850 to _____

Explain Basis for Dating: _____

Other Barn Notes:

Located opposite the residential buildings is a large, gable-roofed, heavy timber-framed bank barn. This large barn is built on a stone foundation and is clad in horizontal wood siding. The roof is clad in V-crimp metal, and two gable-roofed cupola vents are located along the ridge line. The fenestration throughout consists of louvered vent openings with molded wood drip caps and surrounds. A sliding double door marks the entrance from the earthen embankment approach. A small, one-room concrete block addition is located on the south elevation.

Survey Form, Barns, Continued. Site Number _____

Interior Features: (only applicable if you are granted access, Please photograph significant features.)

- ___ Structural System:
 - ___ Post and beam framing (sketch bent)
 - ___ Log (indicate notching system, number of cribs) _____
 - ___ Shawver truss
 - ___ Rainbow truss
 - ___ Laminated plank
 - ___ Balloon frame
 - ___ Other structural system (explain) _____
- ___ Granary:
 - ___ in forebay
 - ___ in bankside
 - ___ in outshed
 - ___ central
- ___ Number of threshing floors
- ___ Number of mows
- ___ Number of interior levels
- ___ Pattern of floors, stables, and mows (indicate from what direction and on which level): (eg, upper level, m:f:f:m looking downslope from bank; or one level, s:f:m west to east) _____

- ___ Original stanchions
- ___ Longitudinal central aisle
- ___ Crosswise aisles and walkways
- ___ Original stalls
- ___ Integral corn crib
- ___ Other (_____)

Dairy Accommodations on Stable Level:

- ___ Concrete floors replace dirt
- ___ metal stanchions of various types replace wooden restraining systems
- ___ feed and litter alleys are reoriented: Usually lengthwise arrangement of dairy stanchions substitutes for crosswise arrangement of box stalls
- ___ omission of space for horses (some markets banned housing horses and cows together)
- ___ evidence of whitewashing
- ___ evidence of ventilation shafts inserted
- ___ litter carrier systems
- ___ installation of electricity
- ___ relocation or closing of hay chute
- ___ placement of stalls near light source

___ access from silo

Dairy and Other Alterations on Mow Level:

___ re-framing to accommodate hay track and other loading devices

___ addition of access from silo

___ holes cut in the gable end doors to load hay

___ elimination of drive floor use as machinery storage in favor of more hay storage

___ holes cut in log cribs to facilitate hay and grain movement

___ cleats added to barn bents to accommodate tobacco curing

___ evidence of pulley systems, etc. to drive machinery

Survey Code _____

Page 7 of 11

Date of Survey January 2008

Name of Surveyor Matthew G. Hyland

Farmhouse Information

Architectural Classification: (choose one, only if ornament clearly indicates a style)

- Classical Revival Federal Gothic Revival Queen Anne
- Colonial Georgian Greek Revival Second Empire
- Colonial Revival Gothic Italianate Other

House Form:

- I four over four, one door two door four square
- fivebay, central doorway Upright and Wing Three bay, two rooms deep
- Single Pen Double Pen Gable Front New England center chimney
- Continental Pennsylvania German
- Other (describe) Double Pile with rear extension

Exterior Materials:

- Foundation Stone Roof Asphalt shingles
- Walls Common bond brick Walls _____
- Other _____ Other _____

Structural System: 1. Brick 2. _____

Year Built: C. 1822 to _____

Explain: _____

Additions/Alterations: C. _____ C. _____

Description and dates of any known alterations: _____

Italianate brackets and porch detailing may have been installed in the 1870s.

Other house features (novelty/ornamental, siting, banked or not, etc.): Three brick interior chimneys pierce the roof, which is marked by a molded frieze and rakeboards and is trimmed with cornice returns and late-19th-century Italianate style corbels and brackets. The full-width, half-hipped-roof porch also appears to date from the later 1800s, as it is executed in an Eastlake style with detailed spandrels and pendants. The fenestration consists of 2/2 and 2/4 double-hung, wood sash windows, all trimmed with shutters. A

Survey Code _____

Page 10 of 11

Date of Survey January 2008

Name of Surveyor Matthew G. Hyland

Landscape Information

Fields:

- Contour plowed
- Cropland
- Pasture
- Orchard
- Woodlots

Circulation Network:

- Lanes
- Roads
- Pathways
- Streams
- Creeks

Boundary Demarcations:

- Hedgerows
- Treelines
- Fencing
- Walls

Other:

- Springs
- Pond
- Drainage Ditches
- Manure Lagoon
- Overgrown

Miscellaneous information about the landscape:

The property is situated on a terrace above the flood plain of the North Branch of the Susquehanna River.

Survey Code _____

Page 9 of 11

Date of Survey January 2008

Name of Surveyor Matthew G. Hyland

Outbuilding Information (Page 1)

Note materials and date. If date is unknown, put best guess within a 25-year time span. Use second page if needed for other outbuilding types present and if more than one of the listed outbuilding types are present on the property. If more than one outbuilding of a particular type is present, please be sure to number them and mark which is which on the site plan (e.g., Poultry House #1, Poultry House #2, etc.).

<u>Type of Outbuilding</u>	<u>Materials</u>	<u>Date</u>
Bake House		
Butcher House		
Carriage House		
Corn Bins (specify how many)		
Corn Crib		
Corn Crib #2		
Corn Crib #3		
Garage	Concrete block, Wood, Metal	circa 1960
Granary		
Horse Barn		
Ice House		
Machine Shed #1	Wood, Metal	circa 1950
Machine Shed #2		
Milk House		
Pigsty		
Pole Barn		
Poultry House		
Poultry House #2		
Root Cellar		
Silo		
Silo #2		
Silo #3		
Smokehouse		
Springhouse		
Summer Kitchen	Stone, Novelty, Asphalt	circa 1900
Tobacco Barn		
Tool Shed		
Wagon Shed		

Other Outbuildings:

<u>Type of Outbuilding</u>	<u>Materials</u>	<u>Date</u>
Garage #2	Concrete block, Wood, Metal	circa 1960

Outbuilding Notes:

Also associated with the main house is a 1.5-story, gable roofed, brick secondary living quarters. Built on a stone foundation, this building is constructed of brick laid in common bond and has a gable roof clad in asphalt shingles. There are entrances on the south and west elevations, marked by a gable-roofed porch and shed-roofed porch, respectively. The fenestration consists of 2/2 double-hung, wood sash windows, with shorter windows on the second story. A single brick interior chimney pierces the roofline.

These outbuildings were part of the A.K. Harter Farm, which is mapped by Beers (1873). Harter was a farmer and livestock grower. While A.K. Harter does not appear in the 1880 agricultural census, J.W. Harter and Conrad Harter are enumerated therein with their grassland, livestock (poultry, swine, neat cattle, and milch cows), and grains (buckwheat, Indian corn, oats, rye, and wheat). Other farm produce included potatoes, honey, and apples. In comparison to neighboring farms, the Harter farm paralleled their operations in all categories, except livestock. Some of the other farms in Conyngham Township at this time grew sheep, according to the 1880 agricultural census.

Survey Code _____

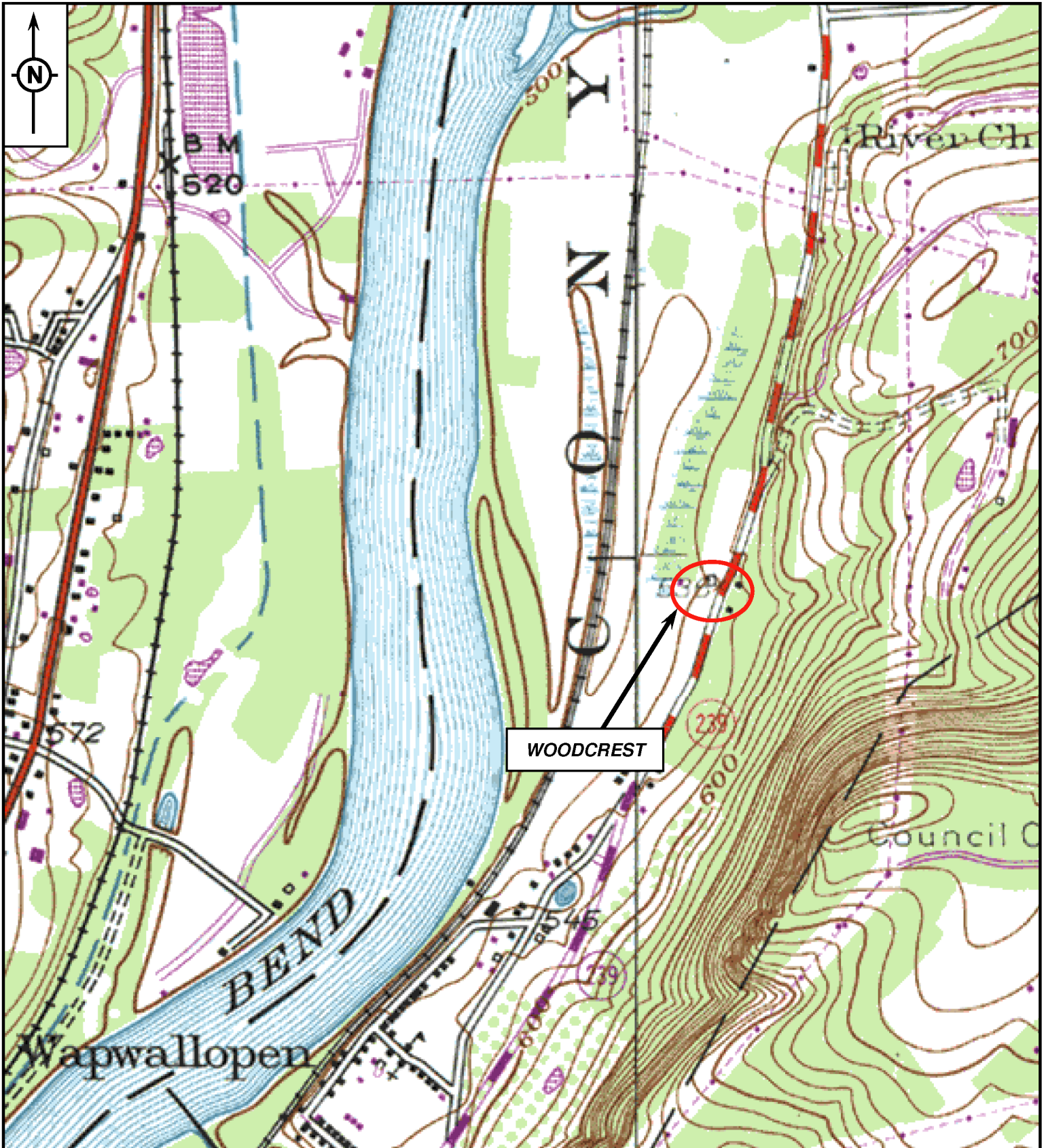
Page 11 of 11

Date of Survey January 2008

Name of Surveyor Matthew G. Hyland

Photo Log

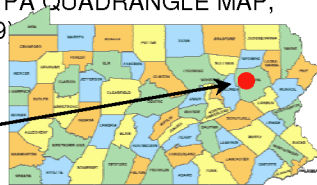
<u>Photo #</u>	<u>View</u>	<u>Camera Direction—Facing which direction?</u>
1	Main House, Facade & N Elevation	Southeast
2	2nd House, Facade & S Elevation	Northeast
3	Barn and Garage	North
4	Shed, Facade & S Elevation	Northwest
5	Main House and Summer Kitchen	Northeast



SOURCE: USGS 7.5 MINUTE BERWICK, PA QUADRANGLE MAP, 1955 (PHOTOREVISED 1969, 1976) AND SYBERTSVILLE, PA QUADRANGLE MAP, 1955 (PHOTOREVISED 1969)



PROJECT LOCATION



WOODCREST
BELL BEND NPP-1 PROJECT
LUZERNE COUNTY

gai consultants

gai consultants



1. Photograph 1
2. Woodcrest
3. Conyngham Township, Luzerne County
4. Main House, Facade and North Elevation, Facing Southeast



1. Photograph 2
2. Woodcrest
3. Conyngham Township, Luzerne County
4. Second House-Facade and South Elevation, Facing Northeast



1. Photograph 3
2. Woodcrest
3. Conyngham Township, Luzerne County
4. Barn and Garage, Facing North



1. Photograph 4
2. Woodcrest
3. Conyngham Township, Luzerne County
4. Shed-Facade and South Elevation, Facing Northwest



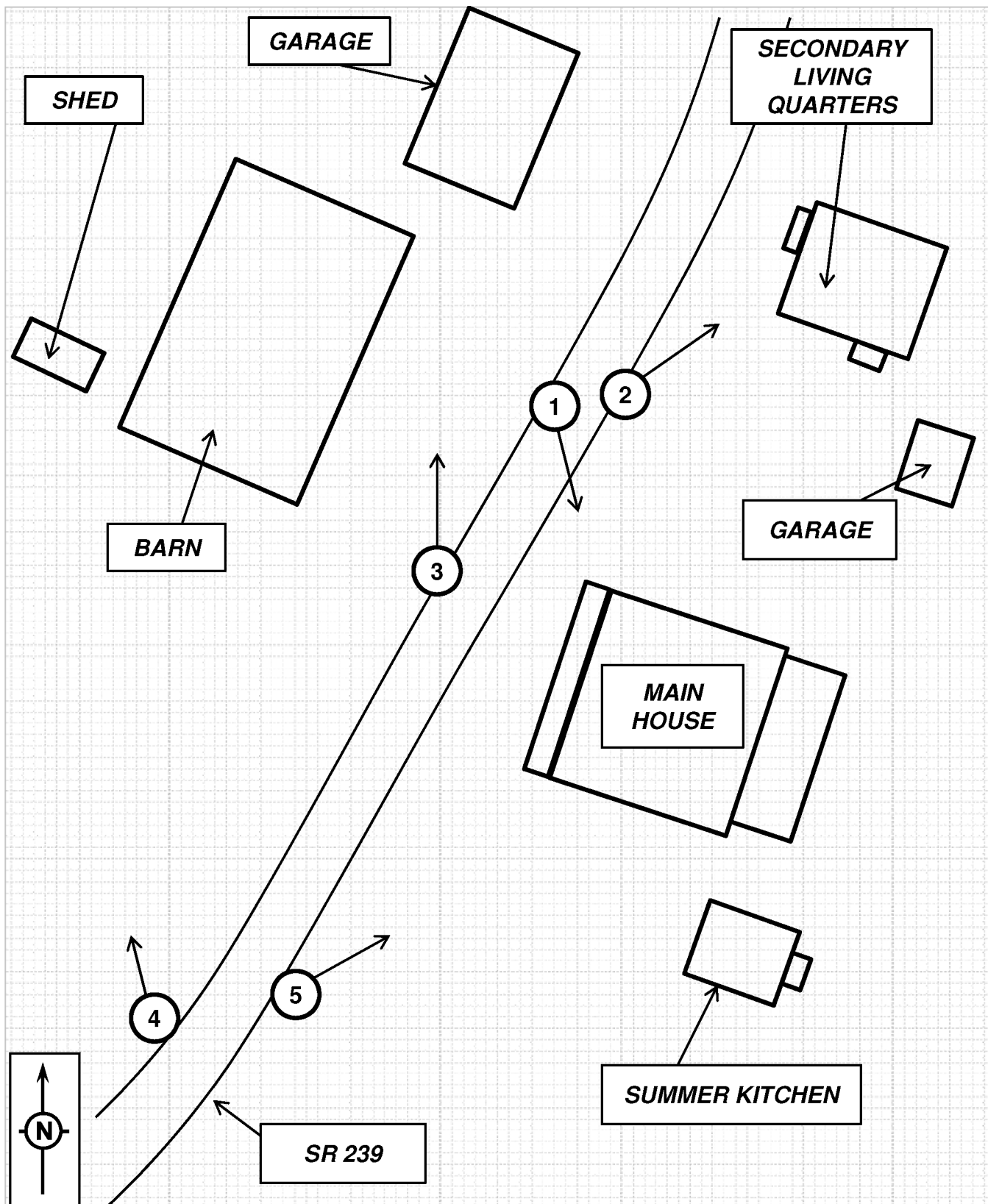
1. Photograph 5
2. Woodcrest
3. Conyngham Township, Luzerne County
4. Main House and Summer Kitchen, Facing Northeast

Key # _____

ER# _____

Site Plan (Item 34)

See page 11 of the Instructions for more information regarding the site plan. Create a sketch of the property, showing the footprint of all buildings, structures, landscape features, streets, etc. Label all resources and streets. Include a North arrow and a scale bar (note if scale is approximate). This sheet may be used to sketch a plan or another map/plan may be substituted.



ADDITIONAL PHOTOGRAPHS

1



2



3



4



5



Historic Resource Survey Form

PENNSYLVANIA HISTORICAL AND MUSEUM COMMISSION
Bureau for Historic Preservation

Key # _____
ER# _____

Name, Location and Ownership *(Items 1-6; see Instructions, page 4)*

HISTORIC NAME Hummel Farmstead

CURRENT/Common Name _____

STREET ADDRESS 371 Beach Grove Road ZIP _____

LOCATION _____

MUNICIPALITY Salem Township COUNTY Luzerne

TAX PARCEL #/YEAR _____ USGS QUAD Berwick, PA; Zone 18

OWNERSHIP Private
 Public/Local Public/County Public/State Public/Federal

OWNER NAME/ADDRESS _____

CATEGORY OF PROPERTY Building Site Structure Object District

TOTAL NUMBER OF RESOURCES 7

Function *(Items 7-8; see Instructions, pages 4-6)*

Historic Function	Subcategory	Particular Type
<u>Domestic</u>	<u>Single Dwelling</u>	<u>House</u>
<u>Domestic</u>	<u>Secondary Structure</u>	<u>Spring house/Shed</u>
<u>Domestic</u>	<u>Secondary Structure</u>	<u>Pole Building</u>
<u>Domestic</u>	<u>Secondary Structure</u>	<u>Shed</u>
<u>Domestic</u>	<u>Secondary Structure</u>	<u>Gazebo</u>
Current Function	Subcategory	Particular Type
<u>Domestic</u>	<u>Single Dwelling</u>	<u>House</u>
<u>Domestic</u>	<u>Secondary Structure</u>	<u>Spring house/Shed</u>
<u>Domestic</u>	<u>Secondary Structure</u>	<u>Pole Building</u>
<u>Domestic</u>	<u>Secondary Structure</u>	<u>Shed</u>
<u>Domestic</u>	<u>Secondary Structure</u>	<u>Gazebo</u>

Architectural/Property Information *(Items 9-14; see Instructions, pages 6-7)*

ARCHITECTURAL CLASSIFICATION

Other Victorian vernacular frame house

EXTERIOR MATERIALS and STRUCTURAL SYSTEM

Foundation Stone

Walls Asbestos shingles

Roof Asphalt shingles

Other _____

Structural System Wood-general

WIDTH _____ (feet) or 5 (# bays) DEPTH _____ (feet) or 2 (# rooms) STORIES/HEIGHT 2

Key # _____
ER# _____

Property Features (Items 15-17; see Instructions, pages 7-8)

Setting Rural local road
Ancillary Features
Swimming pool

Acreage _____ (round to nearest tenth)

Historical Information (Items 18-21; see Instructions, page 8)

Year Construction Began _____ Circa Year Completed 1890 Circa
Date of Major Additions, Alterations _____ Circa _____ Circa _____ Circa
Basis for Dating Documentary Physical
Explain Based on style and method of construction, a c1890 date can be estimated.
Cultural/Ethnic Affiliation(s) _____
Associated Individual(s) _____
Associated Event(s) _____
Architect(s) _____
Builder(s) _____

Submission Information (Items 22-23; see Instructions, page 8)

Previous Survey/Determinations _____
Threats None Neglect Public Development Private Development Other
Explain There are no immediate threats to the resource.
This submission is related to a non-profit grant application business tax incentive
 NHPA/PA History Code Project Review other

Preparer Information (Items 24-30; see Instructions, page 9)

Name & Title Matthew G. Hyland, Megan L. Otten
Date Prepared July 28, 2008 Project Name Berwick, PA NPP-1 Project
Organization/Company GAI Consultants, Inc.
Mailing Address 385 East Waterfront Drive Homestead, PA 15120
Phone 412.476.2000 Email _____

Key # _____

ER# _____

Photo List (Item 33)

See pages 10-11 of the Instructions for more information regarding photos and the photo list. In addition to this photo list, create a photo key for the site plan and floor plans by placing the photo number in the location the photographer was standing on the appropriate plan. Place a small arrow next to the photo number indicating the direction the camera was pointed. Label individual photos on the reverse side or provide a caption underneath digital photos.

Photographer name Matthew G. Hyland

Date January 2008

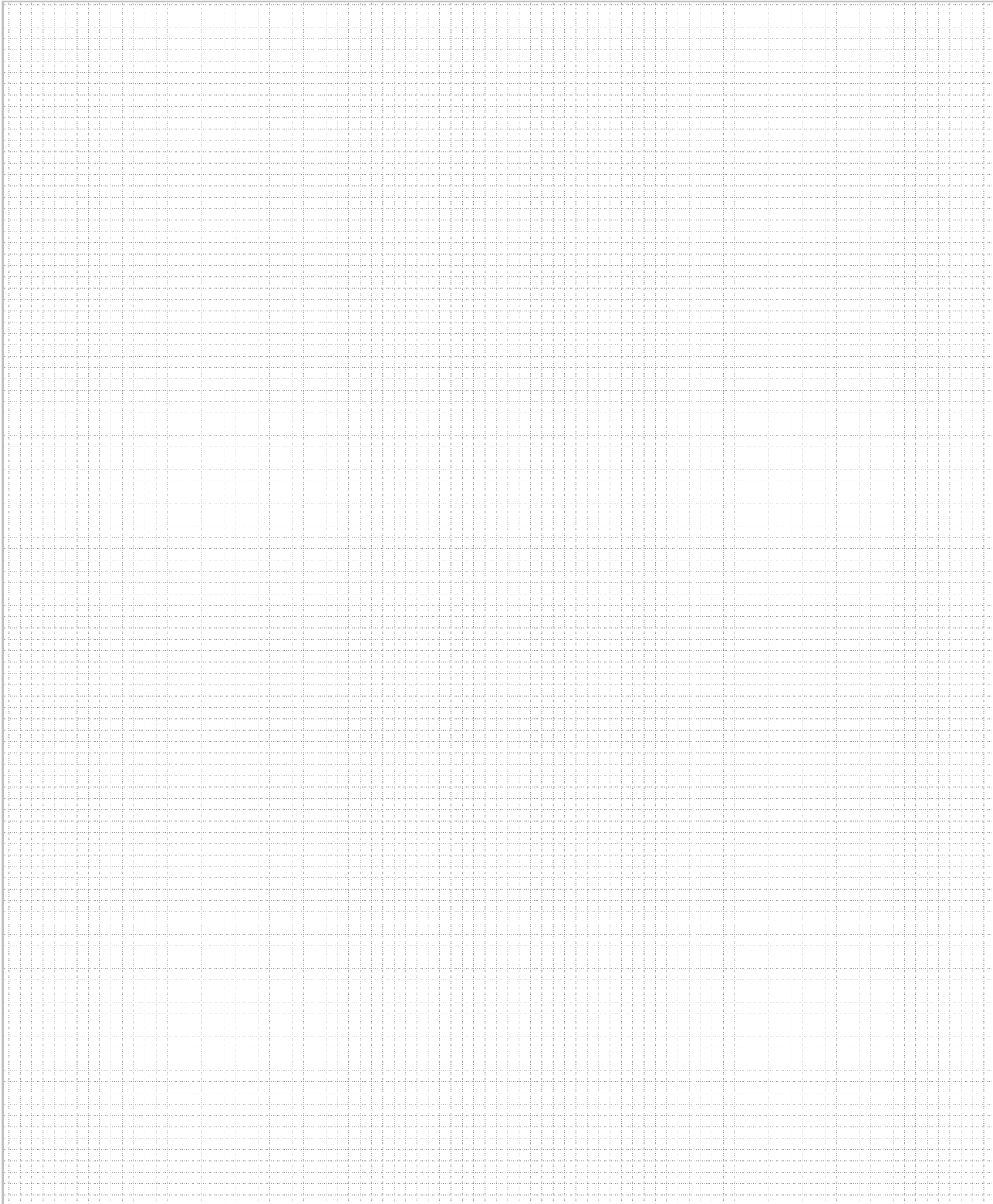
Location Negatives/Electronic Images Stored GAI Consultants, Inc.

Photo #	Photo Subject/Description	Camera Facing
1	Main House, Facade & East Elevation	NW
2	Main House and Springhouse	NE
3	Storage Shed	NW
4	Modern Outbuildings	W
5	Shed #3 and Gazebo	NW

Key # _____
ER# _____

Site Plan (Item 34)

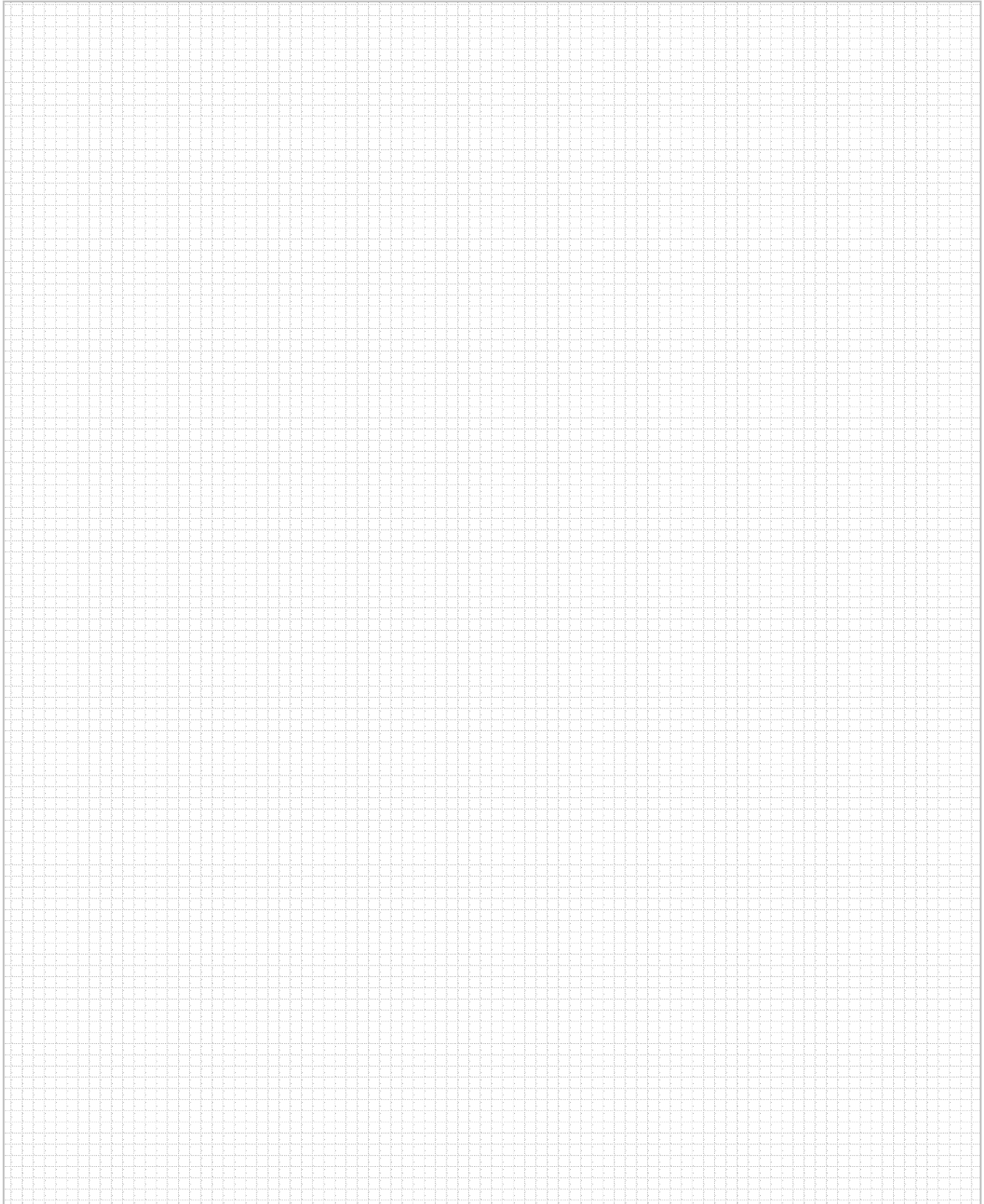
See page 11 of the Instructions for more information regarding the site plan. Create a sketch of the property, showing the footprint of all buildings, structures, landscape features, streets, etc. Label all resources and streets. Include a North arrow and a scale bar (note if scale is approximate). This sheet may be used to sketch a plan or another map/plan may be substituted.



Key # _____
ER# _____

Floor Plan (Item 35)

See page 11 of the Instructions for more information regarding the floor plan. Provide a floor plan for the primary buildings, showing all additions. Label rooms and note important features. Note the date of additions. Include a North arrow and a scale bar (note if scale is approximate) or indicate width/depth dimensions. This sheet may be used to sketch a floor plan or another map/plan may be substituted.



Physical Description and Integrity (Item 38)

Provide a current description of the overall setting, landscape, and resources of the property. See page 13 of the Instructions for detailed directions. Continue on additional sheets as needed. Suggested outline for organizing this section:

- Introduction [summarize the property, stating type(s) of resource(s) and function(s)]
- Setting [describe geographic location, streetscapes, natural/man-made landscape features, signage, etc.]
- Exterior materials, style, and features [describe the exterior of main buildings/resources]
- Interior materials, style, and features [describe the interior of main buildings/resources]
- Outbuildings/Landscape [describe briefly additional outbuildings/landscape features found on property, substitute Building Complex Form if preferred; See Instructions, page 18]
- Boundaries [explain how/why boundaries chosen, such as historic legal parcel, visual natural features such as tree lines, alley separating modern construction, etc.]
- Integrity [summarize changes to the property and assess how the changes impact its ability to convey significance]

(Text entered directly into form fields will not permit formatting adjustments, such as spell checking or italicizing. Instead, you may wish to cut-and-paste text from another document into the field below; “unprotect” the document for this section, or prepare the “Physical Description and Integrity” narrative as a separate document.)

Built circa 1890, this resource is a 2-story, gable-roofed, Victorian vernacular frame house built on a raised stone foundation. The exterior of the house is clad in asbestos shingles, and the gable roof is clad in asphalt shingles. The gable ends of the house are marked by cornice returns. The full-width, hip-roofed front porch is supported by chamfered posts with decorative brackets. Modern lattice has been applied to the porch, as well as to the area along the raised basement. The fenestration includes both 2/4, double-hung, wood sash windows as well as modern 6/6 vinyl sashes. Additionally, the door opening is topped by a transom.

There are several outbuildings associated with this house. First, a small wood-framed spring house/shed is located nearly adjacent to the porch. Like the main house, this gable-roofed building is clad in asbestos shingles. To the north and northwest of the house stand an open, shed-roofed storage shed clad in vertical wood siding, a modern, metal-clad pole building and associated shed, and a modern gazebo and shed.

History and Significance (Item 39)

Provide an overview of the history of the property and its various resources. Do not substitute deeds, chapters from local history books, or newspaper articles. See page 14 of the Instructions for detailed directions. Continue on additional sheets as needed.

Suggested outline for organizing this section:

- History [Summarize the evolution of the property from origin to present]
- Significance [Explain why the property is important]
- Context and Comparisons [Describe briefly similar properties in the area, and explain how this property compares]

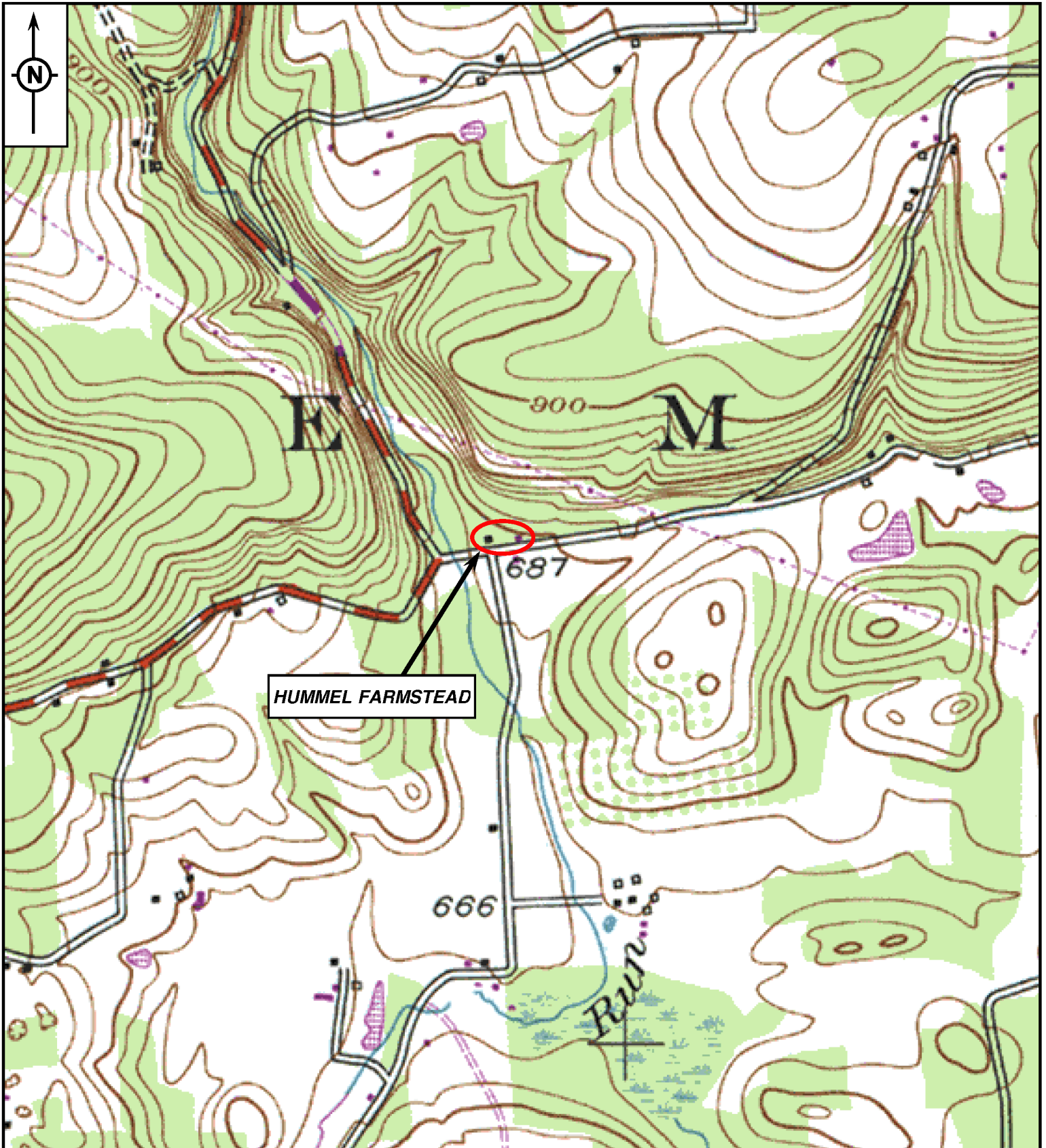
(Text entered directly into form fields will not permit formatting adjustments, such as spell checking or italicizing. Instead, you may wish to cut-and-paste text from another document into the field below; “unprotect” the document for this section, or prepare the “History and Significance” narrative as a separate document.)

Writing in 1860, a local historian described the Bell Bend area as “open country” and “an agricultural township” extending from Beach Grove to Bloomsburg. In 1860, the farms of Salem Township, which was formed in 1790, produced rye, wheat, corn, oats, and buckwheat, which were marketed at Hazelton. Settlement in Salem Township dates from 1773, when Nathan Beach constructed a log home and store at Beach Grove in the project area (Bradsby 1893: 643).

Industrial manufacturing, supported by anthracite extraction, emerged as the prominent theme in Luzerne County's social and economic history. Light manufacturing occurred in some of Luzerne County's agricultural districts. Construction of the North Branch Canal facilitated local economic development when Beach Haven became a lock and weigh station in 1830. A boatyard, a tannery, and a brickyard also developed in Beach Haven. Hick's Ferry connected Beach Haven to Wapwallopen in 1825. On the eve of the Civil War, Beach Haven had developed typical features of the market revolution: a grist mill, a store, a sawmill, a fulling mill, a clover mill, a distillery, and a plaster mill (Bicentennial Committee 1976: 3-6). Salem Township produced iron ore in the first half of the nineteenth century (Pearce 1860: 355, 386). After the Civil War, mergers and consolidations of railroad and coal companies and the arrival of immigrants from eastern Europe intensified the pace of anthracite extraction in Luzerne County and brought about various cultural transformations. The majority of population growth in Luzerne County occurred in the county's mining districts. Early railroad development in the county took place near Wilkes-Barre and Scranton. Closer to the project area, the Lackawanna & Bloomsburg Railroad was completed in 1857 (Pearce 1860: 448). Railroads illustrate the importance of anthracite extraction for energy production in Luzerne County. Anthracite and industrial manufacturing in Berwick remained a viable economic endeavor until the post-World War II time period.

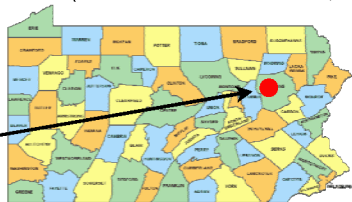
The energy industry continues to play a prominent role in the local economy. For instance, late-twentieth-century developments in the project area include the construction of a nuclear power plant at Bell Bend. Pennsylvania Power and Light (PPL) constructed a two-unit Susquehanna plant in 1975. The plant consists of two boiling water reactors and employs approximately 1,000 people. Plant construction also resulted in the relocation of some Bell Bend families to Berwick (Bicentennial Committee 1976: 6).

No information could be found to make a connection between this resource and any significant events, trends, or individuals in the area. Therefore, this resource is recommended not eligible for NRHP listing under Criteria A or B. Additionally, since the house has lost integrity through unsympathetic alterations, and since it and the outbuildings are unexceptional examples of common architectural types from the late 19th through 20th centuries, this resource is recommended not eligible for NRHP listing under Criterion C.



HUMMEL FARMSTEAD

SOURCE: USGS 7.5 MINUTE BERWICK, PA
 QUADRANGLE MAP, 1955 (PHOTOREVISED 1969,
 1976)



PROJECT LOCATION

**HUMMEL FARMSTEAD
 BELL BEND NPP-1 PROJECT
 LUZERNE COUNTY**

gai consultants

gai consultants



1. Photograph 1
2. Hummel Farmstead
3. Salem Township, Luzerne County
4. Main House-Facade and East Elevation, Facing Northwest



1. Photograph 2
2. Hummel Farmstead
3. Salem Township, Luzerne County
4. Main House and Springhouse, Facing Northeast



1. Photograph 3
2. Hummel Farmstead
3. Salem Township, Luzerne County
4. Storage Shed, Facing Northwest



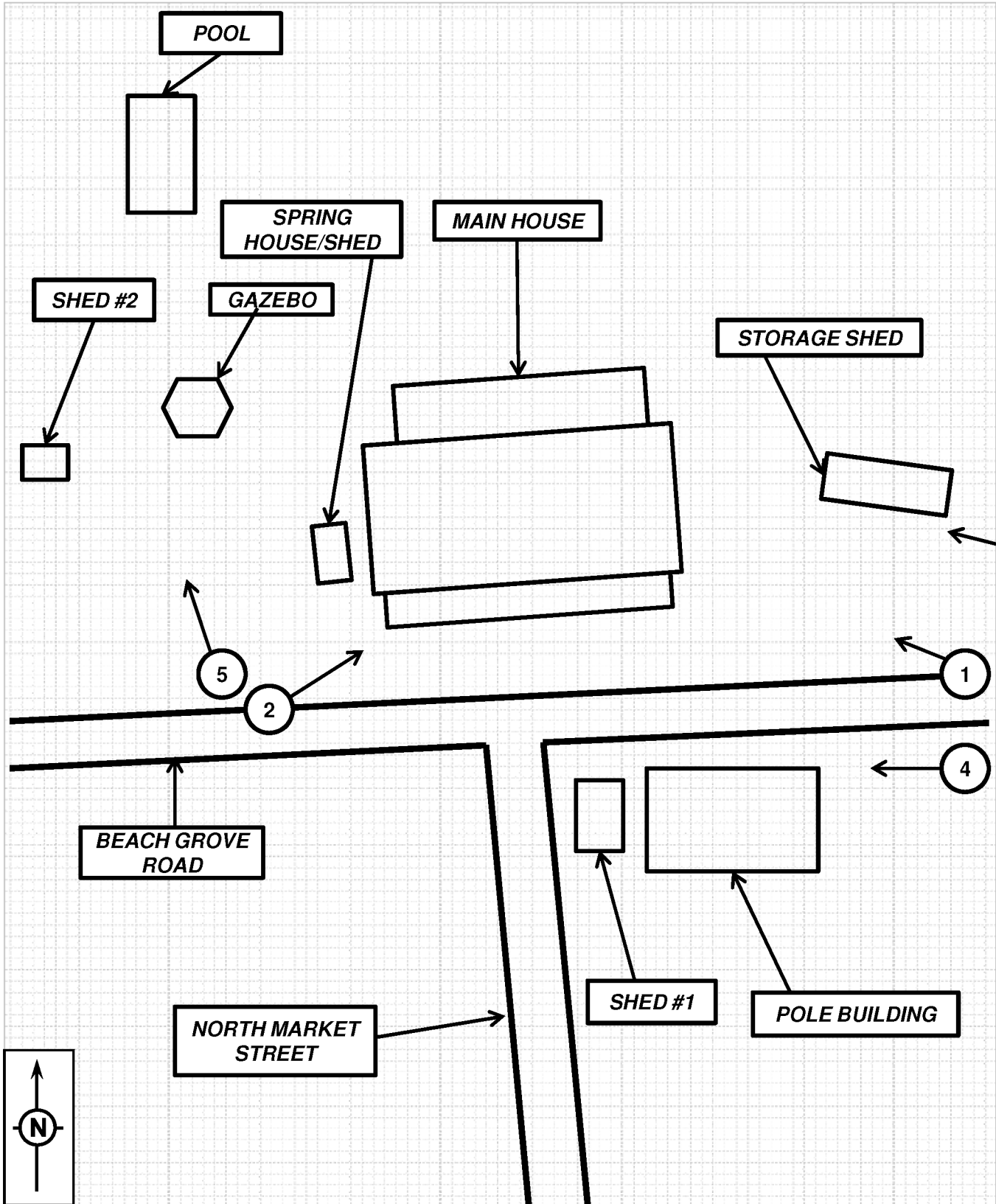
1. Photograph 4
2. Hummel Farmstead
3. Salem Township, Luzerne County
4. Modern Outbuildings, Facing West



1. Photograph 5
2. Hummel Farmstead
3. Salem Township, Luzerne County
4. Shed #3 and Gazebo, Facing Northwest

Site Plan (Item 34)

See page 11 of the Instructions for more information regarding the site plan. Create a sketch of the property, showing the footprint of all buildings, structures, landscape features, streets, etc. Label all resources and streets. Include a North arrow and a scale bar (note if scale is approximate). This sheet may be used to sketch a plan or another map/plan may be substituted.



ADDITIONAL PHOTOGRAPHS

1



2



3





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PENNSYLVANIA HISTORIC RESOURCE SURVEY FORM - PHOTO/SITE PLAN SHEET

Pennsylvania Historical and Museum Commission

Bureau of Historic Preservation

Commonwealth Keystone Building, 2nd Floor
400 North Street, Harrisburg, PA 17120-0093

Survey Code / Tax Parcel / Other No.: _____ County: Luzerne 079

Municipality: Salem Township Address: Beach Grove Road at Stone Church Road

Historic Name / Other Name: Stone Arch Bridge

PHOTO INFORMATION

Attach Photo Here



Number	Description of View	Direction of Camera
_____	Overview	<u>NE</u>
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____

Photographer Name: Matthew G. Hyland

Negative Location: GAI Consultants, Inc.

Date: January 28, 2008

PENNSYLVANIA HISTORIC BRIDGE SURVEY FORM - DATA SHEET

Pennsylvania Historical and Museum Commission, Bureau for Historic Preservation 96BBR

IDENTIFICATION AND LOCATION

Survey Code: _____ Tax Parcel/Other No.: _____

County: 1. Luzerne 2. _____

Municipality: 1. Salem Township 2. _____

Street/Road: Beach Grove Road at Stone Church Road

Crossing Over: Walker Run

Historic Name: _____

Other Name: Stone Arch Bridge

Owner Name/Address: _____

Owner Category: [] Private [] Public-local-county [] Public-local-municipal [X] Public-state [] Public-federal

USGS Quad: 1. Berwick, PA 2. _____

UTM References: A. Zone 18, 0401636 E, 4549457 N B. _____

HISTORIC AND CURRENT FUNCTIONS

Historic Function Category: Subcategory: Code:
A. Transportation Road-related
B. _____

Current Function Category: Subcategory: Code:
A. Transportation Road-related
B. _____

Particular Type: Bridge

PHYSICAL DESCRIPTION

Architectural Classification: A. Stone arch

B. _____ Other: _____

of Spans 1 Overall Length 55' Predominant Material Stone

of Main Spans 1

Main Span

Materials: 1. _____ 2. _____ Length: _____ Span Type: _____

Design Type: _____ Structural Feature: 1. _____ 2. _____

Secondary Span 1

Materials: 1. _____ 2. _____ Length: _____ Span Type: _____

Design Type: _____ Structural Feature: _____

Secondary Span 2

Materials: 1. _____ 2. _____ Length: _____ Span Type: _____
Design Type: _____ Structural Feature: _____

Secondary Span 3

Materials: 1. _____ 2. _____ Length: _____ Span Type: _____
Design Type: _____ Structural Feature: _____

Substructure

Materials: 1. _____ 2. _____ Structural Feature: _____
Configuration _____

HISTORICAL INFORMATION

Year Built: ca. _____ to ca. 1935 Additions/Alterations Dates: ca. _____ ca. _____
Basis for Dating: Documentary Physical

Explain: This bridge dates to circa 1935 based on construction materials and method of construction.

Associated Individuals: 1. _____ 2. _____ Associated Events: 1. _____
2. _____ Architects/Engineers: 1. _____ 2. _____
Builders: 1. _____ 2. _____

MAJOR BIBLIOGRAPHICAL REFERENCES

PREVIOUS SURVEY, DETERMINATIONS

EVALUATION (Survey Director/Consultants Only)

Individual NR Potential: Yes No Context(s): Transportation _____
Contributes to Potential District: Yes No District Name/Status: _____
Explain: This bridge is potentially eligible for NRHP listing under Criterion C. _____

SURVEYOR INFORMATION

Surveyor Name/Title: Matthew G. Hyland/Megan L. Otten _____ Date: January 2008
Project Name: Berwick, PA NPP-1 Project _____
Organization: GAI Consultants, Inc. _____ Telephone: 412.476.2000
Street and No.: 385 East Waterfront Drive _____ City, State: Homestead, PA
Zip Code: 15120 _____
Additional Survey Documentation: _____
Associated Survey Codes: _____

PENNSYLVANIA HISTORICAL BRIDGE SURVEY FORM - NARRATIVE SHEET 96CBR
Pennsylvania Historical and Museum Commission, Bureau for Historic Preservation

Survey Code: _____ Tax Parcel/Other No.: _____
County: Luzerne Municipality: Salem Township
Address: Beach Grove Road at Stone Church Road
Historic/Other Name: Stone Arch Bridge

PHYSICAL DESCRIPTION:

Built circa 1935, this stone arch bridge spans Walker Run. The bridge is constructed of stone with stone voussoirs marked by granite keystones. The stones are joined by beaded mortar joints; some of which have been repointed. The main span is extended by short wing walls on each end, and the superstructure is capped by pre-cast concrete coping. The bridge carries a single, asphalt-paved traffic lane.

HISTORICAL NARRATIVE:

Writing in 1860, a local historian described the Bell Bend area as “open country” and “an agricultural township” extending from Beach Grove to Bloomsburg. In 1860, the farms of Salem Township, which was formed in 1790, produced rye, wheat, corn, oats, and buckwheat, which were marketed at Hazelton. Settlement in Salem Township dates from 1773, when Nathan Beach constructed a log home and store at Beach Grove in the project area (Bradsby 1893: 643).

Industrial manufacturing, supported by anthracite extraction, emerged as the prominent theme in Luzerne County’s social and economic history. Light manufacturing occurred in some of Luzerne County’s agricultural districts. Salem Township produced iron ore in the first half of the nineteenth century (Pearce 1860: 355, 386). After the Civil War, mergers and consolidations of railroad and coal companies and the arrival of immigrants from eastern Europe intensified the pace of anthracite extraction in Luzerne County and brought about various cultural transformations. The majority of population growth in Luzerne County occurred in the county’s mining districts. Early railroad development in the county took place near Wilkes-Barre and Scranton. Closer to the project area, the Lackawanna & Bloomsburg Railroad was completed in 1857 (Pearce 1860: 448). Railroads illustrate the importance of anthracite extraction for energy production in Luzerne County. Anthracite remained a viable economic endeavor until the post-World War II time period.

The energy industry continues to play a prominent role in the local economy. For instance, late-twentieth-century developments in the project area include the construction of a nuclear power plant at Bell Bend. Pennsylvania Power and Light (PPL) constructed a two-unit Susquehanna plant in 1970. The plant consists of two boiling water reactors and employs approximately 1,000 people.

This bridge is not directly associated with any significant events or trends in local or regional history. As such, it is recommended not eligible for NRHP listing under Criterion A. No documentary evidence linking the bridge to any significant individuals in local or regional history could be identified. Therefore, this bridge is recommended not eligible for NRHP listing under Criterion B. This bridge, however, is a rare and well-preserved example of an early 20th-century stone arch bridge in the area. Therefore, it is recommended eligible for NRHP listing under Criterion C.

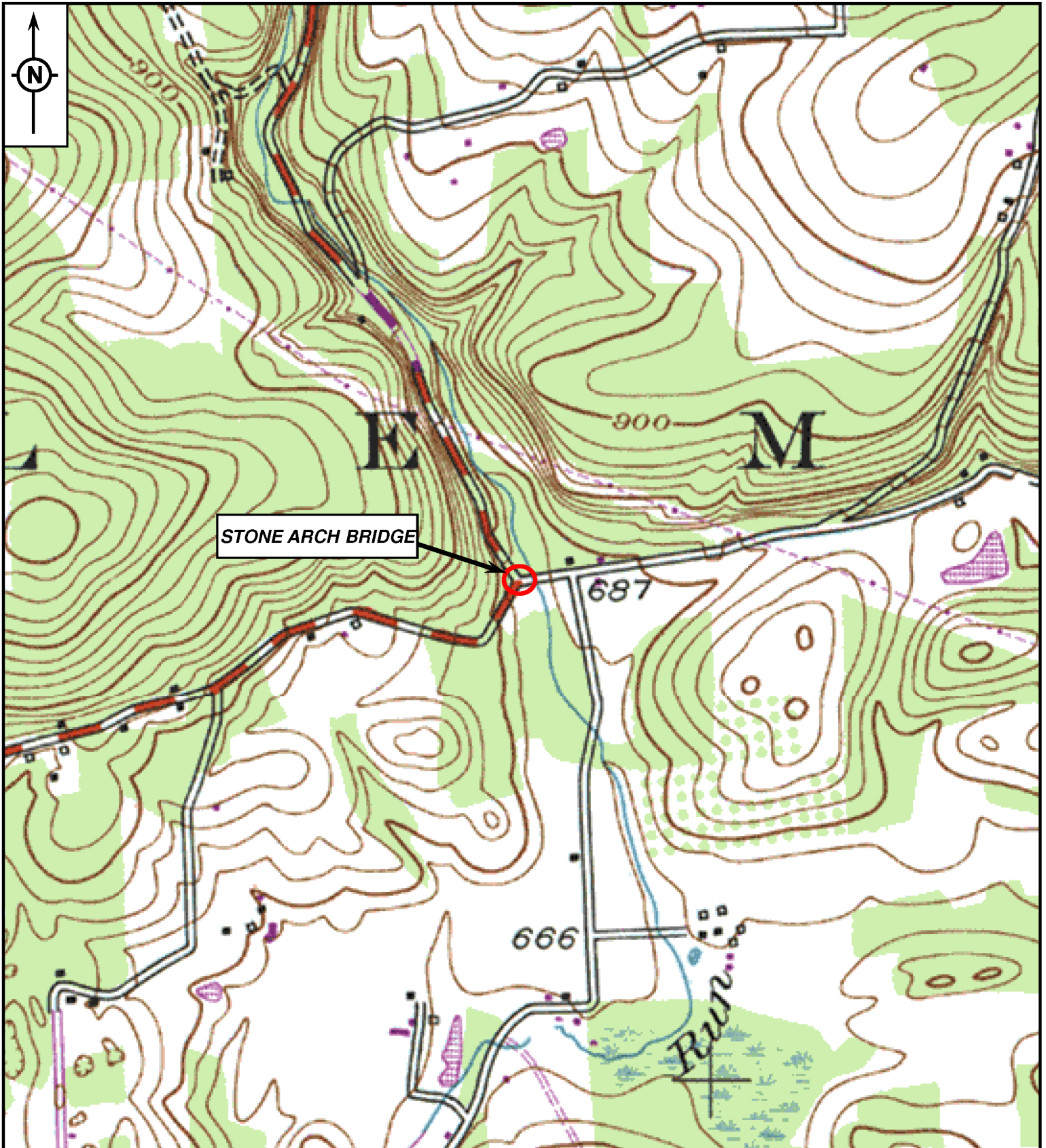
Bradsby, H.C.

1893 History of Luzerne County, Pennsylvania, with Biographical Sketches. S.B. Nelson & Company, Chicago.

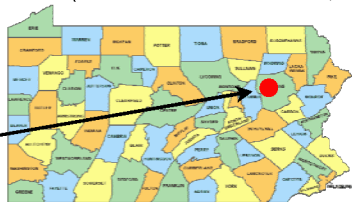
Pearce, S.

1860 Annals of Luzerne County: A Record of Interesting Events, Traditions, and Anecdotes from the First Settlement at Wyoming to 1860. J.B. Lippincott & Company, Philadelphia, Pennsylvania.





SOURCE: USGS 7.5 MINUTE BERWICK, PA
 QUADRANGLE MAP, 1955 (PHOTOREVISED 1969,
 1976)



PROJECT LOCATION



STONE ARCH BRIDGE
 BELL BEND NPP-1 PROJECT
 LUZERNE COUNTY



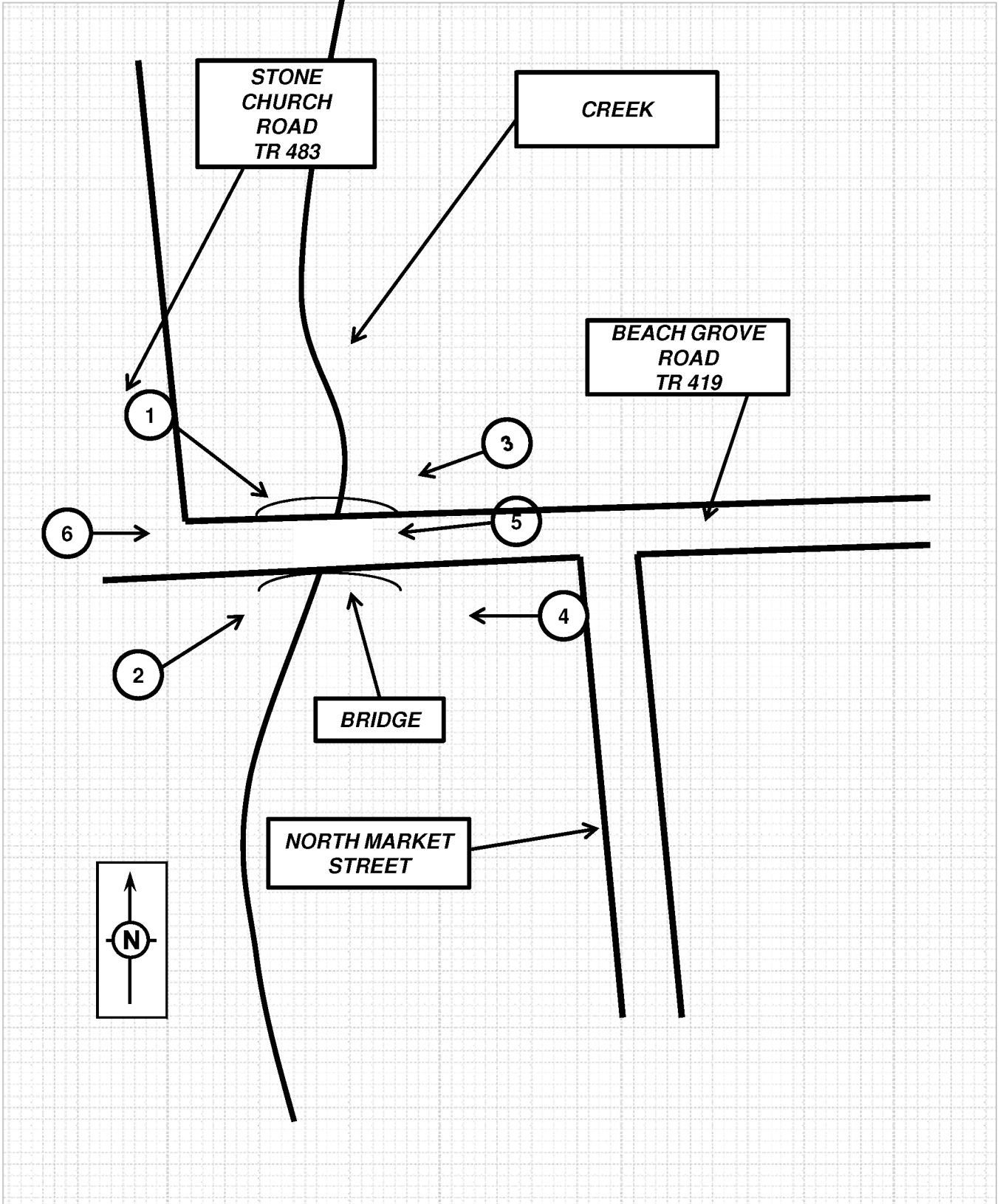
1. Photograph 1
2. Stone Arch Bridge
3. Salem Township, Luzerne County
4. Facing West



1. Photograph 2
2. Stone Arch Bridge
3. Salem Township, Luzerne County
4. Facing Northeast

Site Plan (Item 34)

See page 11 of the Instructions for more information regarding the site plan. Create a sketch of the property, showing the footprint of all buildings, structures, landscape features, streets, etc. Label all resources and streets. Include a North arrow and a scale bar (note if scale is approximate). This sheet may be used to sketch a plan or another map/plan may be substituted.



ADDITIONAL PHOTOGRAPHS

1



2

